



Commissioners' Agenda

The Board of County Commissioners (BOCC) is comprised of the three elected County Commissioners: Ernie Moser (District 1), Jeff Hough (District 2, Chair), and Ken Bullock (District 3). The BOCC generally meets twice weekly: Tuesdays & Thursdays at 9:00 a.m. Unless otherwise noted, meetings are generally held in the Commissioner's Chambers at 624 E Center, Room 212, Pocatello, Idaho. During these public meetings, the BOCC may approve contracts, expend funds, hear testimony, make decisions on land use cases, and take care of other County matters.

Times are subject to change within 15 minutes of the stated time.

Thursday, May 29, 2025

9:00 AM Business and Claims Meeting (action item)

Agenda:

- Kristi Klauser, Auditing, regarding (1) a review of projected fund balance, and (2) signature on titles of vehicles that are being disposed of (requested 10 minutes) (action item)
- Alisse Foster, Planning, requesting review and approval for final plat for (1) South Hills Subdivision, (2) Angileen's Place at Canyon Heights, and (3) Turkey Hollow Subdivision (requested 5 minutes) (action item)
- Dillon Evans, Solid Waste, requesting to discuss the Landfill Entrance Facility Design (requested 15 minutes) (action item)
- (AMENDED) Kiel Burmester, Public Works, seeking approval of and signature on Cooperative Range Improvement Agreement (requested 5 minutes) (action item)

Claims Agenda:

- Board of Ambulance District: Invoices and Commissioner Report
- Board of Commissioners: Invoices, Commissioners Reports, and Credit Applications

- Salary Rate Approval Forms/Notice of Separation with Potential Executive Session under Idaho Code §74-206(1)(a)&(b) regarding personnel with potential action following adjournment of Executive Session
- Payroll Report
- Alcohol Licenses and Permits
- Certificate of Residency Approval
- Mileage Reimbursement Requests
- Technology Request Form
- Memorandum Authorization for Accounts Payable
- Cardholder User Agreement and Authorization

10:00 AM Fiscal Year 2026 Budget Preparation Meeting (potential action item)

BANNOCK COUNTY COMMISSIONERS
 624 E. Center, Pocatello, ID 83201
 Phone: (208) 236-7210 • Fax: (208) 232-7363



ERNIE MOSER
 Commissioner
 1st District

JEFF HOUGH
 Commissioner
 2nd District

KEN BULLOCK
 Commissioner
 3rd District

Business Meeting Agenda Request Form

The Board of Bannock County Commissioners business meetings are generally held on **Tuesday at 9:15 a.m.** in the Commissioners' Chambers in the Bannock County Courthouse, Room 212; 624 E Center Pocatello, Idaho or as noticed **48 hours** prior to the meeting at <https://bannockcounty.us/commissioners/>. The Commissioners also hold meetings throughout the week as coordinated with the Commissioners' staff. Agenda times are subject to change within **15 minutes** of scheduled time. Any person(s) needing special accommodations to participate in public meetings should contact the Commissioners' Office at 208-236-7210, three to five working days before the meeting.

Requestor Name:

Kristi Klauser

Department:

Auditing

Requestor Email:

kristik@bannockcounty.us

Item(s) to be considered:

1) review projected fund balances, 2) sign titles for vehicles to be disposed of

Date of meeting being requested:

05/29/2025

Time requested:

10 Minutes

Does the request involve a contract, agreement, external funding, or award acceptance?

No

Contract/Agreement Begin Date:

Contract/Agreement End Date:

List of additional attendees:

Bannock County
FY26 Projected
(using Feb 25 revest)
prepared by BC Auditing

PROJECTED FUND BALANCE AND EXCESS FUND BALANCE
5/21/25

Excel: budget/FY26/revenue/proj FB

	CURRENT	ROAD & BRIDGE**	JUSTICE FUND	AMBULANCE	DISTRICT COURT	FAIR DISTRICT	FAIR MAINTENANCE
Fund Bal 10-01-24	22,358,199	12,809,935	15,801,494	3,856,937	2,540,430	10,619	310,989
Est FY25 Rev	12,441,298	6,229,280	17,740,840	4,588,074	2,713,467	10,865	119,942
Est FY25 Exp	(15,182,877)	(9,407,923)	(19,972,116)	(5,199,686)	(3,256,672)	(11,000)	(143,600)
Projected Fund Bal	19,616,620	9,631,292	13,570,218	3,245,325	1,997,225	10,484	287,331
Target Fund Bal	3,795,719	2,351,981	4,993,029	1,299,922	814,168	2,750	35,900
Proj Fd Bal Excess	15,820,901	7,279,312	8,577,189	1,945,404	1,183,057	7,734	251,431

	FAIR EXHIBIT	HEALTH DISTRICT	HISTORICAL SOCIETY	INDIGENT	JUNIOR COLLEGE	REC DISTRICT EC/WC	APPRAISAL
Fund Bal 10-01-24	458,131	387,702	56,632	447,384	59,399	1,694,212	1,453,383
Est FY25 Rev	453,406	1,076,124	95,646	250,000	32,289	1,311,250	1,503,276
Est FY25 Exp	(523,721)	(1,117,275)	(105,000)	(582,308)	(40,000)	(1,428,217)	(1,712,343)
Projected Fund Bal	387,816	326,551	47,278	115,076	51,688	1,577,245	1,244,316
Target Fund Bal	130,930	279,319	26,250	10,000	10,000	357,054	428,086
Proj Fd Bal Excess	256,886	47,233	21,028	115,076	41,688	1,220,191	816,231

	LIABILITY INSURANCE	VETERANS MEMORIAL	NOXIOUS WEED	MOSQUITO ABATEMENT	PILT*	SNOWMOBILE	COUNTY BOAT
Fund Bal 10-01-24	295,702	317,911	712,294	267,956	3,144,822	166,029	15,346
Est FY25 Rev	760,494	55,830	440,243	172,572	500,000	20,000	15,000
Est FY25 Exp	(790,448)	(67,900)	(632,586)	(230,189)	(1,215,459)	(41,480)	(24,000)
Projected Fund Bal	265,748	305,841	519,951	210,339	2,429,363	144,549	6,346
Target Fund Bal	197,612	16,975	158,147	57,547	911,594	10,370	6,000
Proj Fd Bal Excess	68,136	288,866	361,804	152,792	1,517,769	134,179	346

	OPIOID SETTLEMENT	COUNTY TOTAL
Fund Bal 10-01-24	677,013	67,822,519
Est FY25 Rev	200,000	50,729,897
Est FY25 Exp	(275,000)	(61,959,800)
Projected Fund Bal	602,013	56,592,616
Target Fund Bal	68,750	15,952,103
Proj Fd Bal Excess	533,263	40,640,514

	JUVENILE DETENTION	SOLID WASTE	EMERGENCY COMMNTNS	BC EVENTS	D6	COUNTY ENTERPRISE TOTAL
Fund Bal 10-01-24	751,250	10,910,604	526,738	318,146	539,284	13,046,022
Est FY25 Rev	1,303,806	8,500,000	937,260	630,000	1,500,000	12,871,066
Est FY25 Exp	(1,306,080)	(9,602,753)	(997,500)	(1,500,000)	(1,099,388)	(14,505,721)
Projected Cash Bal	748,976	9,807,851	466,498	(551,854)	939,896	11,411,367
Target Cash Bal	326,520	2,400,688	249,375	375,000	274,847	3,626,430
Proj Cash Bal Excess	422,456	7,407,163	217,123	(926,854)	665,049	7,784,937

	329814	329815	329817	329819	329835	329836	329846
	VETERANS	CAP ACQUIS	Title III	HEALTH INS	S&R/K9	2 1/2 Mi	TAYLOR GRZ
Fund Bal 10-01-24	1,867	156,114		2,966,120	10,893	88,076	23,245
Est FY25 Rev	2,487	-	22,990	8,000,000	7,000	33,750	-
Est FY25 Exp	(3,000)	(156,114)	(22,990)	(9,000,000)	(6,000)	(11,000)	-
Projected Cash Bal	1,354	-	-	1,966,120	11,893	110,826	23,245
Target Cash Bal				1,800,000	1,500		-
Proj Cash Bal Excess	1,354	0	0	166,120	10,393	110,826	23,245
	329854	329855	329856	329857	329859	329860	329861
	LOTTERY	JUV WKSHP	Bldg Trust	MAILRM	CT DNTNS	Legal Research	CT MONITOR
Fund Bal 10-01-24	3,609	175,948	41,867	68,708	29,227	6,682	548,145
Est FY25 Rev	-	60,000	-	51,000	450	-	35,000
Est FY25 Exp	-	(105,980)	(41,867)	(80,000)	(500)	-	(50,000)
Projected Cash Bal	3,609	130,568	-	39,708	29,177	6,682	533,145
Target Cash Bal	-						
Proj Cash Bal Excess	3,609	130,568	0	39,708	29,177	6,682	533,145
	329863	329864	329865	329867	329868	329869	329890
	DRUG SEIZ	Ct Facilities	Dom Viol	Dom Viol Eval	CTHOUSE DOG	DUI ALUMNI	PUBLIC ADM
Fund Bal 10-01-24	149,975	110,216	142,954	6,246	246	2,893	8,474
Est FY25 Rev	52,000	30,000	18,000	-	-	-	1,500
Est FY25 Exp	(15,000)	(41,000)	(20,000)	(6,200)	(246)	(2,893)	(1,500)
Projected Cash Bal	186,975	99,216	140,954	46	-	-	8,474
Target Cash Bal							
Proj Cash Bal Excess	186,975	99,216	140,954	46	0	0	8,474
	329895	329896					TRUST CASH
	Judicial Conf	CO CENT					TOTAL
Fund Bal 10-01-24	420	11,188					4,553,113
Est FY25 Rev		-					8,314,177
Est FY25 Exp	-	(11,187)					(9,574,877)
Projected Cash Bal	420	1					3,292,413
Target Cash Bal							1,801,500
Proj Cash Bal Excess	420	1					1,490,913

Note: Rev = 95% curr taxes (on levy sheet)+other revenue budgeted

Exp = total budgeted exp

Fund balance = #s at 9-30-24

* This assumes 75% of budget spent before receipt of annual revenue.

** This deducts \$900,000 Mun Rd & Br amount.

^ This designates cash balance (less O/S checks).

BANNOCK COUNTY COMMISSIONERS
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ERNE MOSER
 Commissioner
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Business Meeting Agenda Request Form

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Requestor Name:

Alisse Foster

Department:

Planning and Development

Requestor Email:

alissef@bannockcounty.gov

Item(s) to be considered:

Final plat for South Hills Subdivision to be reviewed for approval.

Date of meeting being requested:

05/29/2025

Time requested:

5 Minutes

Does the request involve a contract, agreement, external funding, or award acceptance?

Other

Contract/Agreement Begin Date:

Contract/Agreement End Date:

List of additional attendees:

Alisse Foster , Hal Jensen, Tristan Bourquin



PLANNING AND DEVELOPMENT SERVICES

5500 S 5th Ave | Pocatello, Idaho 83204 | 208.236.7230 | www.bannockcounty.us

FINAL PLAT– SOUTH HILLS SUBDIVISION STAFF MEMO

FILE #: SFP-24-3
LOCATION: RPRPCPP159400, currently unaddressed.

SURVEYOR:	OWNER:
Sunrise Engineering	Jonathan Vincent
Matt Baker	975 E. Pidcock Road
600 E. Oak Street	Inkom, ID 83245
Pocatello, ID 83201	

REQUEST & BACKGROUND: Jonathan Vincent proposes a 19-lot subdivision with the proposed name of South Hills Subdivision. The development proposes to connect to City of Pocatello water and sewer. The total acreage is approximately 12.76 acres with approximately 4.17 acres being included in the subdivision. The buildable lots will be between 0.06 and 1.88 acres in size. At the start of the application process, this subdivision was located 680 feet from the City of Pocatello boundary. On June 25, 2024, this development was annexed into the City of Pocatello.

FINAL PLAT PROCESS SUMMARY:

PRE-DEVELOPMENT CONFERENCE: (SPD230005) Department review letter dated October 13, 2023.

CONCEPTUAL/MASTER PLAN: (SCP230004) Approved by Bannock County Planning and Development Council on November 15, 2023. Conditions placed by Council have been reviewed and met.

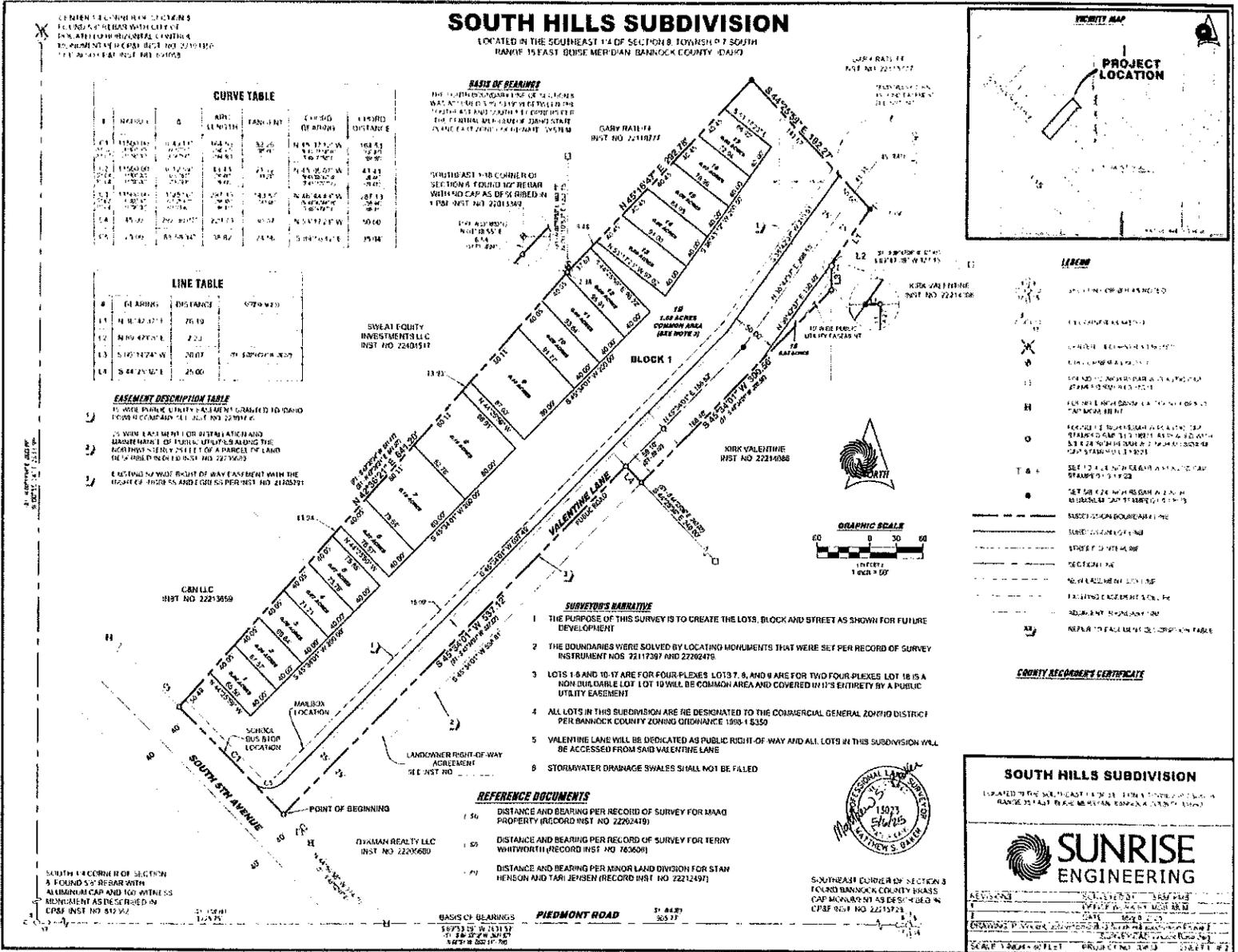
PRELIMINARY PLAT: (SPP230008) Approved by Bannock County Planning and Development Council on March 20, 2024. Conditions placed by Council have been reviewed and met.

FINAL PLAT REVIEW/SURVEYOR PLAT REVIEW: (SFP-24-3) Reviewed and approved by Adam Thayer on August 5, 2024. Final plat and construction plans were reviewed by Bannock County Road and Bridge, Bannock County Planning and Development, Paul Bastian and City of Pocatello. A bond was placed with the City of Pocatello for construction and setting interior monuments.

REPORT BY:
Alisse Foster, Subdivision Planner
alissef@bannockcounty.gov

MEMO DATE: May 21, 2025

EXHIBIT:
1. Plat





BANNOCK COUNTY COMMISSIONERS
 624 E. Center, Pocatello, ID 83201
 Phone: (208) 236-7210 • Fax: (208) 234-7363

ERNIE MOSER
 Commissioner
 1st District

JEFF HOUGH
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 2nd District

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AGENDA REQUEST FORM

*The Board of Bannock County Commissioners business meetings are generally held on **Tuesday at 9:00 AM** in the Commissioners' Chambers in the Bannock County Courthouse, 624 E. Center, Room 212, Pocatello, Idaho, or as noticed **48 hours** prior to the meeting at <https://www.bannockcounty.us/commissioners/>. Agenda times are subject to change within **15 minutes** of scheduled time. Any person(s) needing special meetings should contact the Commissioner's Office at [208-236-7210](tel:208-236-7210), three to five working days before the meeting.*

E-mail this completed form and any supporting documents to agendarequest@bannockcounty.us by NOON on the Thursday prior to the scheduled meeting.

Name/Department:

Alisse Foster / Planning and Development

Item to be considered/background:

Final plat for Angileen's Place at Canyon Heights to be reviewed for approval.
 Final plat for Turkey Hollow Subdivision to be reviewed for approval.

How much time will be needed? Meeting date requested:

5 min 5/29/25

Does this item involve a contract, agreement, external funding application or award acceptance?

YES NO

Have all supporting documents been included with this form?

YES NO

List of attendees:

Please include any supporting documents with your Agenda Session Request Form.

Commissioner Office Only:	
Date: <u>5/29/25</u>	Time: _____



PLANNING AND DEVELOPMENT SERVICES

5500 S 5th Ave | Pocatello, Idaho 83204 | 208.236.7230 | www.bannockcounty.us

FINAL PLAT– ANGILEEN’S PLACE AT CANYON HEIGHTS STAFF MEMO

FILE #: SFP-24-8
LOCATION: RPRRCNC000500 and RPRRCNC000600, currently unaddressed.

SURVEYOR:	OWNER:
Global Land Works	Geoffrey Williams
Cardon T. Payne	9585 S. Frandsen Road
1823 E. Center Street	Lava Hot Springs, ID 83246
Pocatello, ID 83201	

REQUEST & BACKGROUND: Cardon Payne proposes a lot line adjustment on lots 5 and 6 of the Canyon Creek Subdivision. This lot line adjustment consists of 2 lots, with a total of 9.23 acres. The buildable lots will be between 4.69 acres and 4.54 acres in size. This subdivision is located 2.25 miles from the City of Lava Hot Springs boundary.

FINAL PLAT PROCESS SUMMARY:

PRE-DEVELOPMENT CONFERENCE: (SUPD-22-10) Department review letter dated February 17, 2023.

CONCEPTUAL/MASTER PLAN: (SUCP-23-2) Approved by Bannock County Planning and Development Council on June 21, 2023. Conditions placed by Council have been reviewed and met.

PRELIMINARY PLAT: (SPP230005) Approved by Bannock County Planning and Development Council on October 18, 2023. Conditions placed by Council have been reviewed and met.

SURVEYOR PLAT REVIEW/FINAL PLAT REVIEW: (SFP-24-8) Reviewed and approved by Stewart Ward on February 25, 2025. Final Plat and construction plans were reviewed by Bannock County Road and Bridge, Bannock County Planning and Development, and Paul Bastian.

REPORT BY:
Alisse Foster, Subdivision Planner
alissef@bannockcounty.gov

MEMO DATE: May 23, 2025

EXHIBIT:
1. Plat

FINAL PLAT OF ANGILEEN'S PLACE AT CANYON HEIGHTS

BEING A REPLAT OF LOTS 5 AND 6 OF CANYON CREEK SUBDIVISION PHASE 1 RECORDED UNDER INSTRUMENT #22211434 PART OF THE EAST HALF OF SECTION 5, TOWNSHIP 10 SOUTH, RANGE 38 EAST, OF THE BOISE MERIDIAN IN BANNOCK COUNTY

2606 MOUNTAIN ROAD LLC
DEED INSTRUMENT #22105558

2606 MOUNTAIN ROAD LLC
DEED INSTRUMENT #22105558

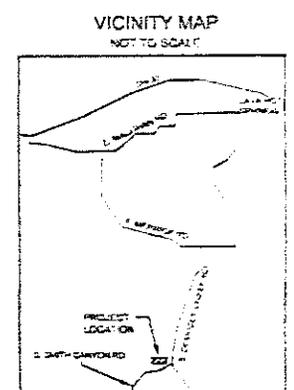
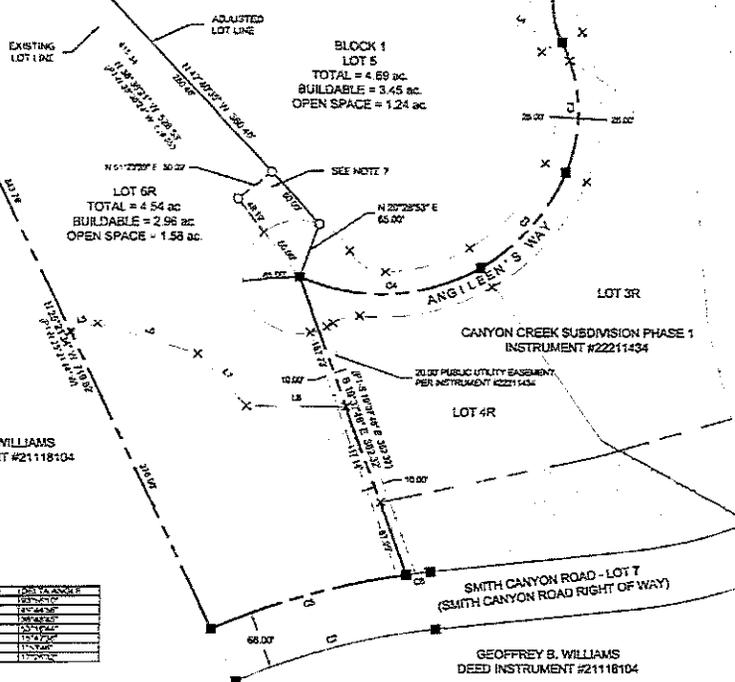
GEOFFREY B. WILLIAMS
DEED INSTRUMENT #21115474

MONUMENTED
BASIS OF BEARING

GEOFFREY B. WILLIAMS
DEED INSTRUMENT #21118104

CENTER QUARTER CORNER OF SECTION 5 FOUND ALUMINUM CAP 7501 CRP& INST. #22111136

2015 2014 2013 2012 2011 2010 2009 2008 2007 2006 2005 2004 2003 2002 2001 2000 1999 1998 1997 1996 1995 1994 1993 1992 1991 1990 1989 1988 1987 1986 1985 1984 1983 1982 1981 1980 1979 1978 1977 1976 1975 1974 1973 1972 1971 1970 1969 1968 1967 1966 1965 1964 1963 1962 1961 1960 1959 1958 1957 1956 1955 1954 1953 1952 1951 1950 1949 1948 1947 1946 1945 1944 1943 1942 1941 1940 1939 1938 1937 1936 1935 1934 1933 1932 1931 1930 1929 1928 1927 1926 1925 1924 1923 1922 1921 1920 1919 1918 1917 1916 1915 1914 1913 1912 1911 1910 1909 1908 1907 1906 1905 1904 1903 1902 1901 1900 1899 1898 1897 1896 1895 1894 1893 1892 1891 1890 1889 1888 1887 1886 1885 1884 1883 1882 1881 1880 1879 1878 1877 1876 1875 1874 1873 1872 1871 1870 1869 1868 1867 1866 1865 1864 1863 1862 1861 1860 1859 1858 1857 1856 1855 1854 1853 1852 1851 1850 1849 1848 1847 1846 1845 1844 1843 1842 1841 1840 1839 1838 1837 1836 1835 1834 1833 1832 1831 1830 1829 1828 1827 1826 1825 1824 1823 1822 1821 1820 1819 1818 1817 1816 1815 1814 1813 1812 1811 1810 1809 1808 1807 1806 1805 1804 1803 1802 1801 1800 1799 1798 1797 1796 1795 1794 1793 1792 1791 1790 1789 1788 1787 1786 1785 1784 1783 1782 1781 1780 1779 1778 1777 1776 1775 1774 1773 1772 1771 1770 1769 1768 1767 1766 1765 1764 1763 1762 1761 1760 1759 1758 1757 1756 1755 1754 1753 1752 1751 1750 1749 1748 1747 1746 1745 1744 1743 1742 1741 1740 1739 1738 1737 1736 1735 1734 1733 1732 1731 1730 1729 1728 1727 1726 1725 1724 1723 1722 1721 1720 1719 1718 1717 1716 1715 1714 1713 1712 1711 1710 1709 1708 1707 1706 1705 1704 1703 1702 1701 1700 1699 1698 1697 1696 1695 1694 1693 1692 1691 1690 1689 1688 1687 1686 1685 1684 1683 1682 1681 1680 1679 1678 1677 1676 1675 1674 1673 1672 1671 1670 1669 1668 1667 1666 1665 1664 1663 1662 1661 1660 1659 1658 1657 1656 1655 1654 1653 1652 1651 1650 1649 1648 1647 1646 1645 1644 1643 1642 1641 1640 1639 1638 1637 1636 1635 1634 1633 1632 1631 1630 1629 1628 1627 1626 1625 1624 1623 1622 1621 1620 1619 1618 1617 1616 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1415 1414 1413 1412 1411 1410 1409 1408 1407 1406 1405 1404 1403 1402 1401 1400 1399 1398 1397 1396 1395 1394 1393 1392 1391 1390 1389 1388 1387 1386 1385 1384 1383 1382 1381 1380 1379 1378 1377 1376 1375 1374 1373 1372 1371 1370 1369 1368 1367 1366 1365 1364 1363 1362 1361 1360 1359 1358 1357 1356 1355 1354 1353 1352 1351 1350 1349 1348 1347 1346 1345 1344 1343 1342 1341 1340 1339 1338 1337 1336 1335 1334 1333 1332 1331 1330 1329 1328 1327 1326 1325 1324 1323 1322 1321 1320 1319 1318 1317 1316 1315 1314 1313 1312 1311 1310 1309 1308 1307 1306 1305 1304 1303 1302 1301 1300 1299 1298 1297 1296 1295 1294 1293 1292 1291 1290 1289 1288 1287 1286 1285 1284 1283 1282 1281 1280 1279 1278 1277 1276 1275 1274 1273 1272 1271 1270 1269 1268 1267 1266 1265 1264 1263 1262 1261 1260 1259 1258 1257 1256 1255 1254 1253 1252 1251 1250 1249 1248 1247 1246 1245 1244 1243 1242 1241 1240 1239 1238 1237 1236 1235 1234 1233 1232 1231 1230 1229 1228 1227 1226 1225 1224 1223 1222 1221 1220 1219 1218 1217 1216 1215 1214 1213 1212 1211 1210 1209 1208 1207 1206 1205 1204 1203 1202 1201 1200 1199 1198 1197 1196 1195 1194 1193 1192 1191 1190 1189 1188 1187 1186 1185 1184 1183 1182 1181 1180 1179 1178 1177 1176 1175 1174 1173 1172 1171 1170 1169 1168 1167 1166 1165 1164 1163 1162 1161 1160 1159 1158 1157 1156 1155 1154 1153 1152 1151 1150 1149 1148 1147 1146 1145 1144 1143 1142 1141 1140 1139 1138 1137 1136 1135 1134 1133 1132 1131 1130 1129 1128 1127 1126 1125 1124 1123 1122 1121 1120 1119 1118 1117 1116 1115 1114 1113 1112 1111 1110 1109 1108 1107 1106 1105 1104 1103 1102 1101 1100 1099 1098 1097 1096 1095 1094 1093 1092 1091 1090 1089 1088 1087 1086 1085 1084 1083 1082 1081 1080 1079 1078 1077 1076 1075 1074 1073 1072 1071 1070 1069 1068 1067 1066 1065 1064 1063 1062 1061 1060 1059 1058 1057 1056 1055 1054 1053 1052 1051 1050 1049 1048 1047 1046 1045 1044 1043 1042 1041 1040 1039 1038 1037 1036 1035 1034 1033 1032 1031 1030 1029 1028 1027 1026 1025 1024 1023 1022 1021 1020 1019 1018 1017 1016 1015 1014 1013 1012 1011 1010 1009 1008 1007 1006 1005 1004 1003 1002 1001 1000 999 998 997 996 995 994 993 992 991 990 989 988 987 986 985 984 983 982 981 980 979 978 977 976 975 974 973 972 971 970 969 968 967 966 965 964 963 962 961 960 959 958 957 956 955 954 953 952 951 950 949 948 947 946 945 944 943 942 941 940 939 938 937 936 935 934 933 932 931 930 929 928 927 926 925 924 923 922 921 920 919 918 917 916 915 914 913 912 911 910 909 908 907 906 905 904 903 902 901 900 899 898 897 896 895 894 893 892 891 890 889 888 887 886 885 884 883 882 881 880 879 878 877 876 875 874 873 872 871 870 869 868 867 866 865 864 863 862 861 860 859 858 857 856 855 854 853 852 851 850 849 848 847 846 845 844 843 842 841 840 839 838 837 836 835 834 833 832 831 830 829 828 827 826 825 824 823 822 821 820 819 818 817 816 815 814 813 812 811 810 809 808 807 806 805 804 803 802 801 800 799 798 797 796 795 794 793 792 791 790 789 788 787 786 785 784 783 782 781 780 779 778 777 776 775 774 773 772 771 770 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519 518 517 516 515 514 513 512 511 510 509 508 507 506 505 504 503 502 501 500 499 498 497 496 495 494 493 492 491 490 489 488 487 486 485 484 483 482 481 480 479 478 477 476 475 474 473 472 471 470 469 468 467 466 465 464 463 462 461 460 459 458 457 456 455 454 453 452 451 450 449 448 447 446 445 444 443 442 441 440 439 438 437 436 435 434 433 432 431 430 429 428 427 426 425 424 423 422 421 420 419 418 417 416 415 414 413 412 411 410 409 408 407 406 405 404 403 402 401 400 399 398 397 396 395 394 393 392 391 390 389 388 387 386 385 384 383 382 381 380 379 378 377 376 375 374 373 372 371 370 369 368 367 366 365 364 363 362 361 360 359 358 357 356 355 354 353 352 351 350 349 348 347 346 345 344 343 342 341 340 339 338 337 336 335 334 333 332 331 330 329 328 327 326 325 324 323 322 321 320 319 318 317 316 315 314 313 312 311 310 309 308 307 306 305 304 303 302 301 300 299 298 297 296 295 294 293 292 291 290 289 288 287 286 285 284 283 282 281 280 279 278 277 276 275 274 273 272 271 270 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- LEGEND**
- CENTER QUARTER CORNER AS NOTED
 - QUARTER CORNER AS NOTED
 - FOUND 5/8" REBAR WITH PLASTIC CAP STAMPED "PLS 1005"
 - FOUND 1/2" REBAR WITH PLASTIC CAP STAMPED "PLS 1500"
 - SET 1/2" REBAR WITH PLASTIC CAP STAMPED "PLS 1502"
 - CALCULATED POSITION (NOTHING FOUND, NOTHING SET)
 - PARCEL BOUNDARY
 - SECTION LINE
 - LOT LINE
 - EASEMENT
 - EXISTING EASEMENT
 - DIMENSIONAL TIE LINE
 - ADJOINING PARCEL LINES
 - EXISTING OPEN SPACE BOUNDARY
 - EXISTING OPEN SPACE

BLK	TRACT	BY	STAMP
11	11-1-1	11-1-1	11-1-1
12	12-1-1	12-1-1	12-1-1
13	13-1-1	13-1-1	13-1-1
14	14-1-1	14-1-1	14-1-1
15	15-1-1	15-1-1	15-1-1
16	16-1-1	16-1-1	16-1-1
17	17-1-1	17-1-1	17-1-1
18	18-1-1	18-1-1	18-1-1
19	19-1-1	19-1-1	19-1-1
20	20-1-1	20-1-1	20-1-1
21	21-1-1	21-1-1	21-1-1
22	22-1-1	22-1-1	22-1-1
23	23-1-1	23-1-1	23-1-1
24	24-1-1	24-1-1	24-1-1
25	25-1-1	25-1-1	25-1-1
26	26-1-1	26-1-1	26-1-1
27	27-1-1	27-1-1	27-1-1
28	28-1-1	28-1-1	28-1-1
29	29-1-1	29-1-1	29-1-1
30	30-1-1	30-1-1	30-1-1
31	31-1-1	31-1-1	31-1-1
32	32-1-1	32-1-1	32-1-1
33	33-1-1	33-1-1	33-1-1
34	34-1-1	34-1-1	34-1-1
35	35-1-1	35-1-1	35-1-1
36	36-1-1	36-1-1	36-1-1
37	37-1-1	37-1-1	37-1-1
38	38-1-1	38-1-1	38-1-1
39	39-1-1	39-1-1	39-1-1
40	40-1-1	40-1-1	40-1-1
41	41-1-1	41-1-1	41-1-1
42	42-1-1	42-1-1	42-1-1
43	43-1-1	43-1-1	43-1-1
44	44-1-1	44-1-1	44-1-1
45	45-1-1	45-1-1	45-1-1
46	46-1-1	46-1-1	46-1-1
47	47-1-1	47-1-1	47-1-1
48	48-1-1	48-1-1	48-1-1
49	49-1-1	49-1-1	49-1-1
50	50-1-1	50-1-1	50-1-1
51	51-1-1	51-1-1	51-1-1
52	52-1-1	52-1-1	52-1-1
53	53-1-1	53-1-1	53-1-1
54	54-1-1	54-1-1	54-1-1
55	55-1-1	55-1-1	55-1-1
56	56-1-1	56-1-1	56-1-1
57	57-1-1	57-1-1	57-1



PLANNING AND DEVELOPMENT SERVICES

5500 S 5th Ave | Pocatello, Idaho 83204 | 208.236.7230 | www.bannockcounty.us

FINAL PLAT– TURKEY HOLLOW SUBDIVISION STAFF MEMO

FILE #: SFP-25-3
LOCATION: RPRRCHS000600, currently addressed as 906 E. Pidcock Road, Inkom, ID 83245 and RPRRCHS000700, currently unaddressed.

SURVEYOR:	OWNER:
Dioptra	Brett Robison Management LLC
Stewart Ward	906 E. Pidcock Road
4880 Clover Dell Road	Inkom, ID 83245
Pocatello, ID 83202	

REQUEST & BACKGROUND: Stewart Ward proposes an amendment to Coyote Hollow Subdivision for the purpose of adjusting a lot line. The existing lots are 5.00 acres with 2.78 acres of open space and 5.00 acres with 3.19 acres of open space. After the proposed adjustment, the lots will be 6.42 acres with 4.19 acres of open space and 3.58 acres with 1.78 acres of open space. The development proposes individual well and septic systems. This subdivision is located ~ 1.5 miles from the city of Inkom boundary.

FINAL PLAT PROCESS SUMMARY:

PRE-DEVELOPMENT CONFERENCE: (SPD-24-5) Department review letter dated August 30, 2024.

CONCEPTUAL/MASTER PLAN: (SCP-24-6) Approved by Bannock County Planning and Development Council on October 16, 2024. Conditions placed by Council have been reviewed and met.

PRELIMINARY PLAT: (SPP-24-9) Approved by Bannock County Planning and Development Council on January 15, 2025. Conditions placed by Council have been reviewed and met.

FINAL PLAT REVIEW/SURVEYOR PLAT REVIEW: (SFP-25-3) Reviewed and approved by Matt Baker on April 10, 2025. Final plat and construction plans were reviewed by Bannock County Road and Bridge, Bannock County Planning and Development, and Paul Bastian.

REPORT BY:
 Alisse Foster, Subdivision Planner
alissef@bannockcounty.gov

MEMO DATE: May 22, 2025

EXHIBIT:
 1. Plat

BOARD OF BANNOCK COUNTY COMMISSIONERS' - MEETING
TURKEY HOLLOW SUBDIVISION

THURSDAY, MAY 29, 2025

A REPLAT OF LOTS 6 & 7, BLOCK 1, COYOTE
HOLLOW SUBDIVISION INSTR. #22504250
LOCATED IN THE 1/4 SECTION 26,
TOWNSHIP 7 NORTH, RANGE 26 EAST, OF THE
BOYSE MERIDIAN, IN THE COUNTY OF BANNOCK

BOUNDARY DESCRIPTION

That to and from Coyote Hollow Subdivision, Instr. #22504250, located in Section 26, Township 7 North, Range 26 East, Boise Meridian, Bannock County, Idaho, more parts of the plat are:

Commence at a point in the Northwest corner of Section 26, Boise Meridian, Range 26 East, Township 7 North, the Northern corner of Block 1 of Coyote Hollow Subdivision, as shown on the plat of said subdivision;

Thence S 00° 00' 00" W 100.00 feet along the Eastern side of said Block 1 of said Subdivision to the Northern right-of-way of said Highway Road;

Thence S 00° 00' 00" W 40.00 feet along the Northern right-of-way of said road to the Eastern corner of Lot 6;

Thence S 00° 00' 00" W to the left of 77 feet (Curve Data: Radius = 50.00', Length = 22.147 feet, Chord = 18.111787', W 12.147° to a reverse curve to the right;

Thence S 00° 00' 00" W to the right of 45 feet (Curve Data: Radius = 20.00', Length = 48.941 feet, Chord = 17.96247', W 14.903°);

Thence N 89° 00' 00" W 100 feet along the Northern right-of-way of East Patrick Road to the southwest corner of Block 1 of Coyote Hollow Subdivision;

Thence N 00° 00' 00" W 144.80 feet along the West line of said Lot 6 to the Northwest corner of said Lot 6;

Thence S 90° 00' 00" W 64.80 feet along the North line of Lot 6 and Lot 7 of Coyote Hollow Subdivision to the Point of Beginning;

Corner Station: 170.181 acres.

ACKNOWLEDGEMENT

STATE OF IDAHO
COUNTY OF BANNOCK

On this 30 day of April, 2025, before me, a Notary Public in and for the State of Idaho, personally appeared, Brett Robinson, known to me to be the persons whose names are subscribed to the within instrument, and acknowledged to me that they executed the same as therein contained, I have hereunto set my hand and affixed my notarial seal the day and year in the certificate first above written.

Brett Robinson
NOTARY PUBLIC

2-17-2026
MY COMMISSION EXPIRES



OWNER'S CERTIFICATE

I, the undersigned owner of the tract of land described in the boundary description herein, do hereby warrant and agree to indemnify the County of Bannock from any and all claims, damages, or expenses, including reasonable attorney's fees, that may be incurred by the County of Bannock in the event that the public use and enjoyment of the land described in the boundary description of this plat, the location and construction of the easement, or the use and enjoyment of the easement, are in violation of the public use and enjoyment of the land described in the boundary description of this plat. The easement is hereby perpetually reserved for public use and enjoyment, including, but not limited to, the use and enjoyment of the land described in the boundary description of this plat, and no structures, other than those for public utility purposes, are to be erected within the limits of said easement.

Brett Robinson
Brett Robinson
Brett Robinson Management LLC
Robison

IRRIGATION CERTIFICATE

It has been determined that the property included in this subdivision is not located within the boundaries of an existing irrigation district. Lots within this subdivision will not receive an irrigation water right.

COUNTY CERTIFICATE

This plat was duly accepted and approved by resolution of the Board of County Commissioners on this _____ day of _____, 2025.

Chairman of the Board - Jeff Hough County Clerk - Jason Dixon

Reviewing County Engineer - J. Paul Bastian, PE 7257

RESTRICTIVE COVENANTS

The articles of protective covenants for Turkey Hollow Subdivision, recorded as Instr. #22504250, are hereby made a part of this plat.

COUNTY EXAMINING SURVEYOR'S CERTIFICATE

I, Matthew S. Baker, an Examining Surveyor in and for Bannock County do hereby certify that I have checked this plat and computations shown hereon and have determined that the requirements of Idaho Code 50-1305 have been met. I approve the same for filing this 19 day of May, 2025.

Matthew S. Baker
Matthew S. Baker PLS #13023

COUNTY TREASURER'S CERTIFICATE

Payment of the 2025 taxes of the land shown on this plat is hereby certified to have been received by the County Treasurer of Bannock County, Idaho.

Jason Dixon
County Treasurer

HEALTH DEPARTMENT CERTIFICATE

Sanitary restrictions are required by Idaho Code Title 16, Chapter 14. Such laws, outside of sanitary restrictions, may be imposed in accordance with Section 16-152b, Idaho Code, by the issuance of a certificate of approval.

Jason Dixon
Health District Supervisor

SURVEYORS CERTIFICATE

I, Stewart K. Ward, a Licensed Professional Land Surveyor in the State of Idaho do hereby certify that a survey was made under my direction of the premises described in the boundary description and shown on this plat, and which this certificate appears. Further, that this plat was prepared under my direction and that the monumentation shown conforms with that set out on the ground and that the pertinent portion of the Idaho Code, Idaho, together with all local ordinances thereunder, complied with.

Stewart K. Ward
Stewart K. Ward, License No. 102175



COUNTY RECORDERS CERTIFICATE

DIOPTRA
Turkey Hollow Subdivision
Drawn by: [] Date: []
Date: 04-29-2025

BANNOCK COUNTY COMMISSIONERS

624 E. Center, Pocatello, ID 83201
 Phone: (208) 236-7210 • Fax: (208) 232-7363



ERNIE MOSER
 Commissioner
 1st District

JEFF HOUGH
 Commissioner
 2nd District

KEN BULLOCK
 Commissioner
 3rd District

Business Meeting Agenda Request Form

The Board of Bannock County Commissioners business meetings are generally held on **Tuesday at 9:15 a.m.** in the Commissioners' Chambers in the Bannock County Courthouse, Room 212; 624 E Center Pocatello, Idaho or as noticed **48 hours** prior to the meeting at <https://bannockcounty.us/commissioners/>. The Commissioners also hold meetings throughout the week as coordinated with the Commissioners' staff. Agenda times are subject to change within **15 minutes** of scheduled time. Any person(s) needing special accommodations to participate in public meetings should contact the Commissioners' Office at 208-236-7210, three to five working days before the meeting.

Requestor Name:

Dillon Evans

Department:

Solid Waste

Requestor Email:

Dillone@bannockcounty.gov

Item(s) to be considered:

Landfill Entrance Facility Design

Date of meeting being requested:

05/29/2025

Time requested:

15 Minutes

Does the request involve a contract, agreement, external funding, or award acceptance?

No

Contract/Agreement Begin Date:

Contract/Agreement End Date:

List of additional attendees:

Stephanie Wilke



PROJECT LOCATION
PLANS PREPARED FOR:

NAME, TITLE
 TOWN NAME OR WATERSEWER DISTRICT NAME

APPROVED BY:

STEPHANIE WILKE, P.E.
 GREAT WEST ENGINEERING

QA/QC BY:

TRAVIS CRAIG, P.E.
 GREAT WEST ENGINEERING

PLANS PREPARED BY:
 STETSON RATZLAFF, EI
 BRET ANDERSON



BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN

CONSTRUCTION PLANS

SECTIONS 28 & 29, TOWNSHIP 7 S., AND RANGE 35 E.



NOT TO SCALE

SHEET INDEX

PROJECT 1-23205
 DATE MAY 19, 2025

SHEET 1	COVER
SHEET 2	GENERAL
SHEET 3	EXISTING SITE PLAN
SHEET 4	PROPOSED SITE PLAN
SHEET 5	PROPOSED INFIELD GRADING PLAN
SHEET 6	ENTRANCE ROAD PLAN & PROFILE
SHEET 7	ENTRANCE ROAD PLAN & PROFILE
SHEET 8	ENTRANCE ROAD PLAN & PROFILE
SHEET 9	ROAD TYPICAL SECTIONS
SHEET 10	
SHEET 11	
SHEET 12	SCALE PLAN
SHEET 13	SCALE DETAILS
SHEET 14	DETAILS
SHEET 15	DETAILS
SHEET 16	Z-WALL DETAILS
SHEET 17	Z-WALL SAFETY FENCE DETAILS
SHEET 18	KIOSK POLE DETAILS
SHEET 19	SIGNAGE
SHEET 20	SIGNAGE

NO	REVISION DESCRIPTION	BY	DATE	SET NO
△				
△				
△				
△				
△				
				SHEET NO
				1

Y:\Shared\Helena Projects\1-23205-Bannock County Landfill Scale House\CADD 1-23205\Sheets\1-23205-01-Cover.dwg

ABBREVIATIONS

Δ	ANGLE OF DEFLECTION, DELTA ANGLE	LPQ	LIQUID PROPANE GAS
∠	ANGLE POINT	LT	LEFT
AB	ANCHOR BOLT	MAX	MAXIMUM
ABDN	ABANDON	MD	MEASURE DOWN
AC	ASBESTOS CONCRETE	MFD	MANUFACTURED
ADDN	ADDITIONAL	MFR	MANUFACTURE, MANUFACTURER
ADJ	ADJACENT	MH	MANHOLE
ALT	ALTERNATE	MIN	MINIMUM
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	MISC	MISCELLANEOUS
APPROX	APPROXIMATE	MJ	MECHANICAL JOINT
APVD	APPROVED	MOV	MOTOR OPERATED VALVE
ARCH	ARCHITECTURE, ARCHITECTURAL	MPPSS	MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS
ASPH	ASPHALT	N	NORTH
AVE	AVENUE	NE	NORTHEAST
AVG	AVERAGE	NG	NATURAL GAS
BFLV	BUTTERFLY VALVE	NTC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BLK	BLOCK	NOM	NOMINAL
BLVD	BOULEVARD	NTS	NOT TO SCALE
BM	BEAM, BENCHMARK	NW	NORTHWEST
BOT	BOTTOM	OC	ON CENTER
BRG	BEARING	OD	OUTSIDE DIAMETER
BRKT	BRACKET	OH	OVERFLOW
BVC	BEIGN VERTICAL CURVE	OHP	OVERHEAD POWER
C-C	CENTER TO CENTER	OHT	OVERHEAD TELEPHONE
CHAN	CHANNEL	OPNG	OPENING
CHK	CHECK	PC	POINT OF CURVATURE
C	CAST IRN	PCC	POINT OF COMPOUND CURVATURE
CPKC	CAST-IN-PLACE CONCRETE	PE	PLAIN END, POLYETHYLENE
CRIC	CIRCULAR	PERP	PERPENDICULAR
CJ	CONSTRUCTION JOINT, CONTROL JOINT	PI	POINT OF INTERSECTION
CL	CENTER LINE	P	PROPERTY LINE
CLR	CLEAR CLEARANCE	PNL	PANEL
CMP	CORRUGATED METAL PIPE	PRC	POINT OF REVERSE CURVATURE
CMU	CONCRETE MASONRY UNITS	PRFAB	PREFABRICATED
CO	COLUMN	PREP	PREPARE, PREPARATION
COL	COLUMN	PROP	PROPERTY
CONC	CONCRETE	PRV	PRESSURE REDUCING VALVE
CONSTR	CONSTRUCTION	PSF	POUNDS PER SQUARE FOOT
CONT	CONTINUE, CONTINUED, CONTINUOUS	PSI	POUNDS PER SQUARE INCH
CONTR	CONTRACTOR	PT	POINT, POINT OF TANGENCY
COORD	COORDINATE	PVC	POLYVINYL CHLORIDE
CP	CONTROL PANEL, CONTROL POINT	PVI	POINT OF VERTICAL INTERSECTION
CPLG	COUPLING	PVMT	PAVEMENT
CTR	CENTER	R, RAD	RADIUS
CU	CUBIC, COPPER	RC	REINFORCED CONCRETE
CF	CUBIC FEET	RCP	REINFORCED CONCRETE PIPE
CULV	CULVERT	RD	ROAD
CY	CUBIC YARD	RDCR	REDUCER
DET	DETAIL	REBAR	REINFORCEMENT BAR
DI	DUCTILE IRON, DRAIN INLET	REF	REFERENCE
DIA, ∅	DIAMETER	RENF	REINFORCE
DIAG	DIAGONAL	REQD	REQUIRED
DM	DIMENSION	RR	RAILROAD
DR	DRIVE	RST	REINFORCING STEEL
DWG	DRAWING	RT	RIGHT
E	EAST	R/W	RIGHT-OF-WAY
EA	EACH	S	SOUTH, SANITARY SEWER
EL, ELEV	ELEVATION	SAN	SANITARY
ELB	ELBOW	SCH	SCHEDULE
ELEC	ELECTRIC, ELECTRICAL	SD	STORM DRAIN
ENCL	ENCLOSE	SDWK	SIDEWALK
ENGR	ENGINEER	SE	SOUTHEAST
EOP	EDGE OF PAVEMENT	SECT	SECTION
EQ	EQUAL, EQUALLY	SF	SQUARE FOOT
EQ SP	EQUALLY SPACED	SHT	SHEET
EQUIP	EQUIPMENT	SIM	SIMILAR
EQUIV	EQUIVALENT	SLP	SLOPE
EVC	END VERTICAL CURVE	SPEC	SPECIFICATION
EW	EACH WAY	SQ	SQUARE
EKC	EXCAVATE	SSTL	STAINLESS STEEL
EXP	EXPANSION	STA	STATION
EXP JT	EXPANSION JOINT	SS	SANITARY SEWER SERVICE
EXST	EXISTING	STD	STANDARD
FCV	FLOW CONTROL VALVE	ST	STEEL
FD	FLOOR DRAIN	STL	STRUCTURE
FDN	FOUNDATION	SW	SOUTHWEST
FES	FLARED END SECTION	SYM	SYMMETRICAL
FET	FLARED END TERMINAL	TB	THRUST BLOCK
FF	FINISHED FLOOR	TBC	TOP BACK OF CURB
FG	FINISH GRADE	TM	TEMPORARY BENCH MARK
PHYD	FIRE HYDRANT	TEL	TELEPHONE
FJ	FLANGE JOINT	TEMP	TEMPORARY
FL	FLOW LINE	THRU	THROUGH
FLEX	FLEXIBLE	TYP	TYPICAL
FM	FORCEMAIN	UG	UNDERGROUND
FT	FOOT, FEET	UGP	UNDERGROUND POWER
FO	FOOTING, FITTING	UGT	UNDERGROUND TELEPHONE
FTG	FOOTING, FITTING	UTL	UTILITY
G	NATURAL GAS	V	VALVE, VOLT
GA	GAGE, GAUGE	VB	VALVE BOX
GAL	GALLON	VERT	VERTICAL
GALV	GALVANIZED	VOL	VOLUME
GND	GROUND	W	WEST, WATER
GVL	GRAVEL	WTR	WATER
HB	HOSE BIB	WD	WOOD
HDPPE	HIGH DENSITY POLYETHYLENE	WTH	WITH
HOR, HORIZ	HORIZONTAL	WTHOUT	WITHOUT
HWY	HIGHWAY	WL	WETLAND
HYD	HYDRANT	WM	WIRE MESH, WATER METER
ID	INSIDE DIAMETER	WS	WATERSTOP, WATER SURFACE, WATER SERVICE
IE	INVERT ELEVATION	WT	WEIGHT
IN	INCH	WV	WATER VALVE
INV	INVERT	WVF	WELDED WIRE FABRIC
JB	JUNCTION BOX	WWM	WELDED WIRE MESH
JT	JOINT	XFMR	TRANSFORMER
K	RATE OF VERTICAL CURVATURE	X-ING	CROSSING
LBS	POUNDS	XS	CROSS SECTION
LF	LINEAR FEET	YD	YARD
LN	LANE		

LEGEND

EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION
---	---	MAJOR CONTOUR	○	○	STUMP
---	---	MINOR CONTOUR	○	○	SHRUB/BUSH
---	---	OVERHEAD TELEPHONE	☀	☀	TREE-CONIFER
---	---	UNDERGROUND TELEPHONE	☀	☀	TREE-DECIDUOUS
---	---	CABLE TELEVISION	☀	☀	TREE LINE
---	---	FIBER OPTIC	○	○	COMMUNICATION MANHOLE
---	---	NATURAL GAS	○	○	COMMUNICATION VAULT
---	---	OVERHEAD POWER	○	○	TELEPHONE RISER
---	---	UNDERGROUND POWER	○	○	CABLE TV RISER
---	---	SANITARY SEWER	○	○	NATURAL GAS METER
---	---	SANITARY SEWER SERVICE	○	○	NATURAL GAS RISER
---	---	SANITARY SEWER FORCEMAIN	○	○	NATURAL GAS VALVE
---	---	STORM DRAIN	○	○	LIGHT POLE
---	---	STORM CULVERT	○	○	STREET LIGHT POLE
---	---	WATER	○	○	POWER RISER
---	---	WATER SERVICE	○	○	PAD MOUNTED TRANSFORMER
---	---	CHAINLINK FENCE	○	○	POWER VAULT
---	---	BARBED WIRE FENCE	○	○	UTILITY POLE
---	---	WOOD FENCE	○	○	GUY WIRE
---	---	PAVED ROAD	○	○	SANITARY MANHOLE
---	---	GRAVEL ROAD	○	○	SANITARY CLEANOUT
---	---	PROPERTY/LDT LINE	○	○	SANITARY LAMPHOLE
---	---	PROPERTY EASEMENT	○	○	STORM MANHOLE
---	---	PROPERTY SETBACK	○	○	STORM ROUND INLET
---	---	RIGHT-OF-WAY	○	○	STORM SQUARE INLET
---	---	CITY LIMIT/DISTRICT BOUNDARY	○	○	STORM CATCH BASIN
---	---	RAILROAD	○	○	11.25' ELBOW
---	---	DITCH	○	○	22.50' ELBOW
---	---	WATER EDGE	○	○	45' ELBOW
---	---	WETLAND	○	○	90' ELBOW
---	---	BUILDING	○	○	TEE
---	---	BENCHMARK	○	○	CROSS
---	---	CONTROL POINT	○	○	CAP
---	---	PROPERTY PIN	○	○	FIRE HYDRANT
---	---	BORING	○	○	GATE VALVE
---	---	MONITORING WELL	○	○	REDUCER
---	---	TEST PIT	○	○	WATER METER
---	---	BOLLARD	○	○	WELL
---	---	MAIL BOX	○	○	FROST FREE HYDRANT
---	---	SIGN	○	○	

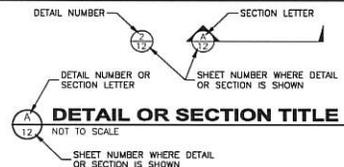
GENERAL NOTES:

1. THIS IS A STANDARD LEGEND AND ABBREVIATION LIST. THEREFORE, NOT ALL SYMBOLS AND ABBREVIATIONS MAY BE USED ON THIS PROJECT.
2. UNLESS MODIFIED BY THE CONTRACT DOCUMENTS, ALL WORK WILL CONFORM TO THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION (REFERRED TO COLLECTIVELY AS ISPCWC).
3. EXISTING UNDERGROUND UTILITIES SHOWN ARE FROM THE BEST INFORMATION AVAILABLE. THIS INFORMATION IS APPROXIMATE AND MAY BE INCOMPLETE. FOR ACCURATE LOCATION, THE CONTRACTOR SHALL CONTACT, PRIOR TO EXCAVATION, THE UTILITIES UNDERGROUND LOCATION CENTER AT: 1-800-342-1585 OR 811.

PROJECT NOTES:

1. NOTES

GENERAL DESIGN DESIGNATIONS:



NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.
REVISION DESCRIPTION	BY	DATE	REVISION DESCRIPTION	BY	DATE	REVISION DESCRIPTION	BY

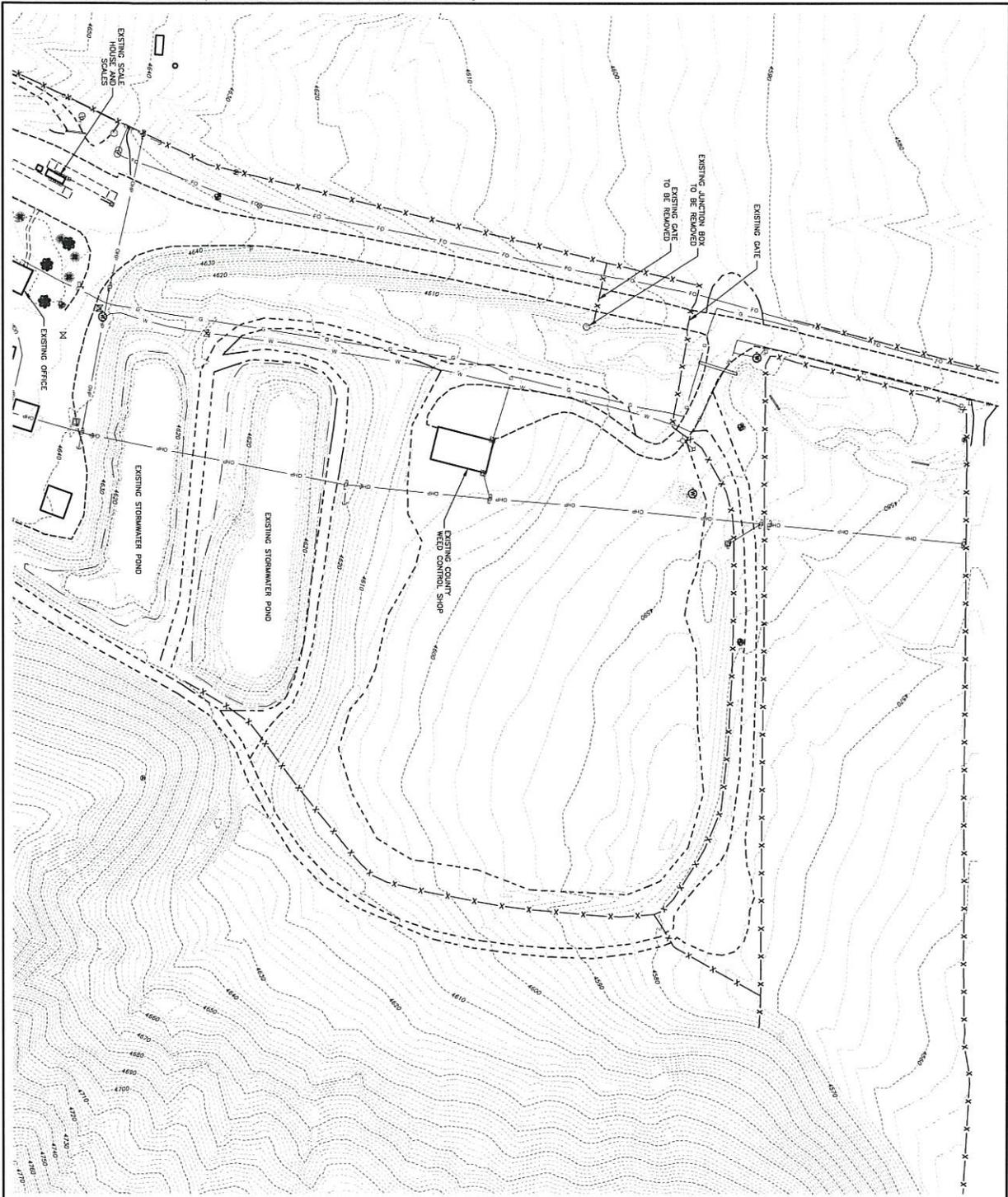
PROJECT: 1-23205
 DESIGNED: BAA
 DRAWN: STR/BAA
 CHECKED: TLC
 APPROVED: BMV
 DATE: MAY 19, 2025



BANNOCK COUNTY LANDFILL
 ENTRANCE FACILITY DESIGN
 GENERAL

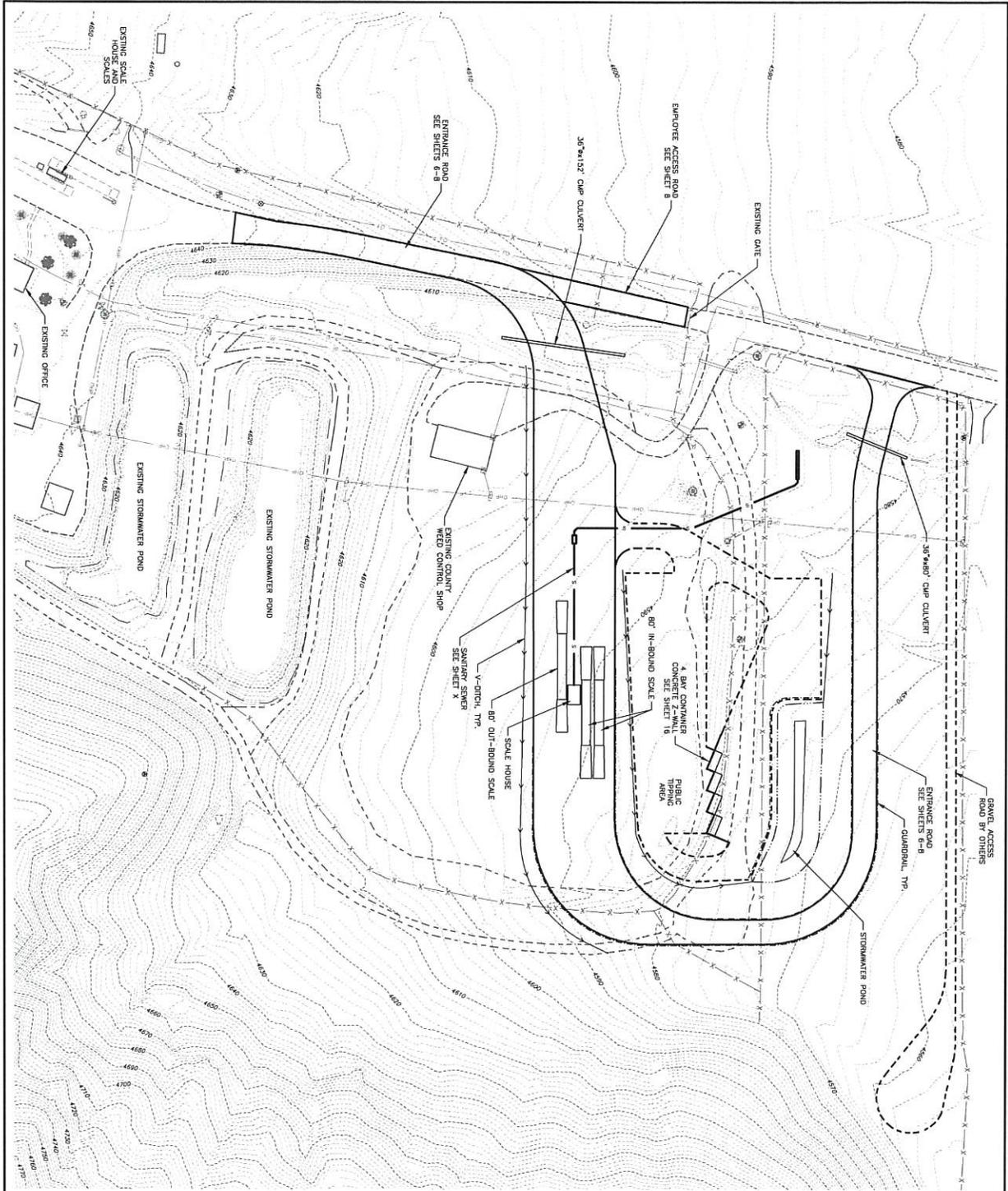
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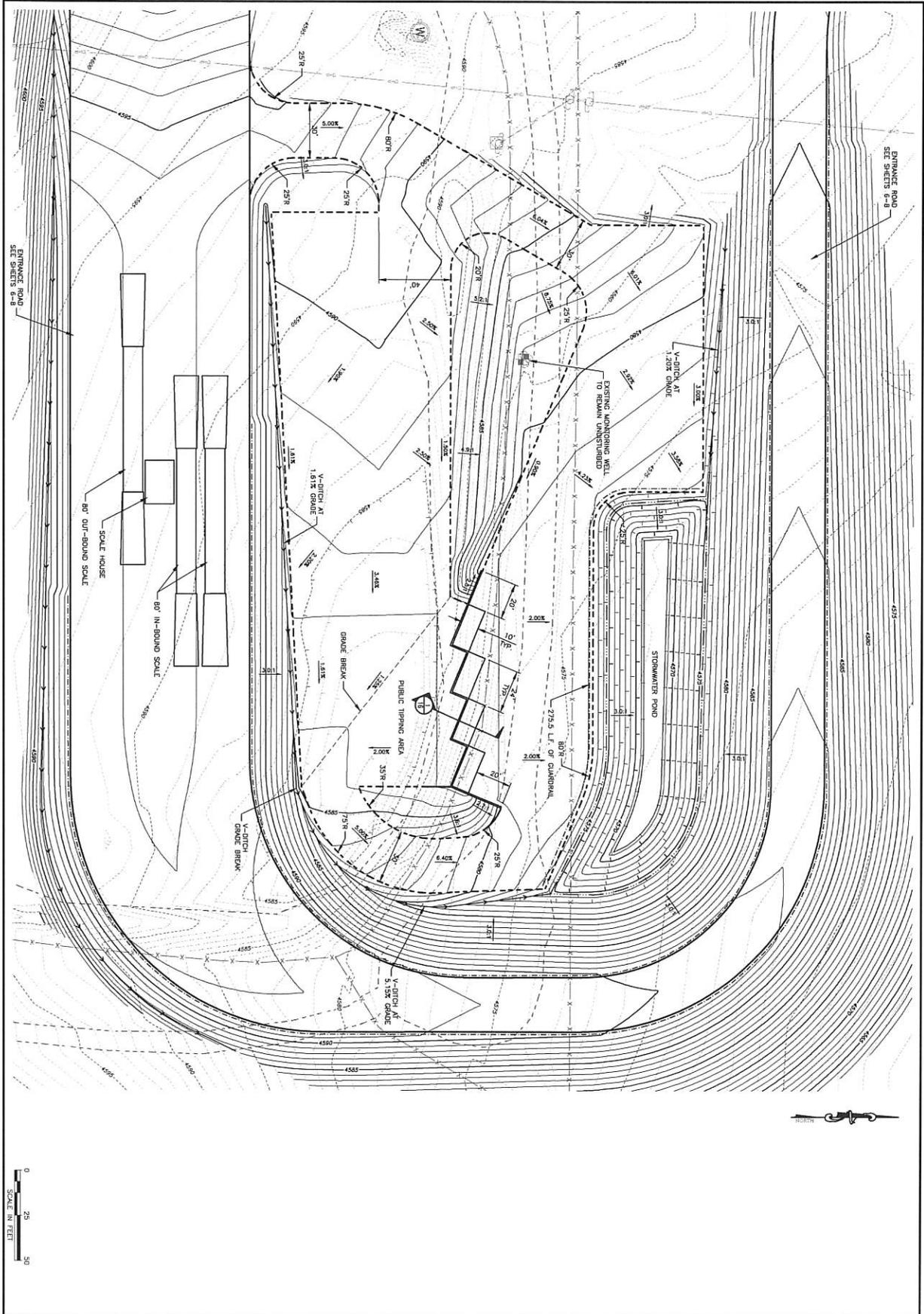
SHEET NO. 3 OF 20	BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN EXISTING SITE PLAN		 Great West ENGINEERING 201 BELT DRIVE HELENA, MT 59601 (406)449-9627	DRAFT	PROJECT: 1-23205	NO	REVISION DESCRIPTION	BY	DATE
	DESIGNED: BAA	△							
	DRAWN: STR/BAA	△							
	CHECKED: TLC	△							
	APPROVED: BMW	△							
DATE: MAY 16, 2025	△								

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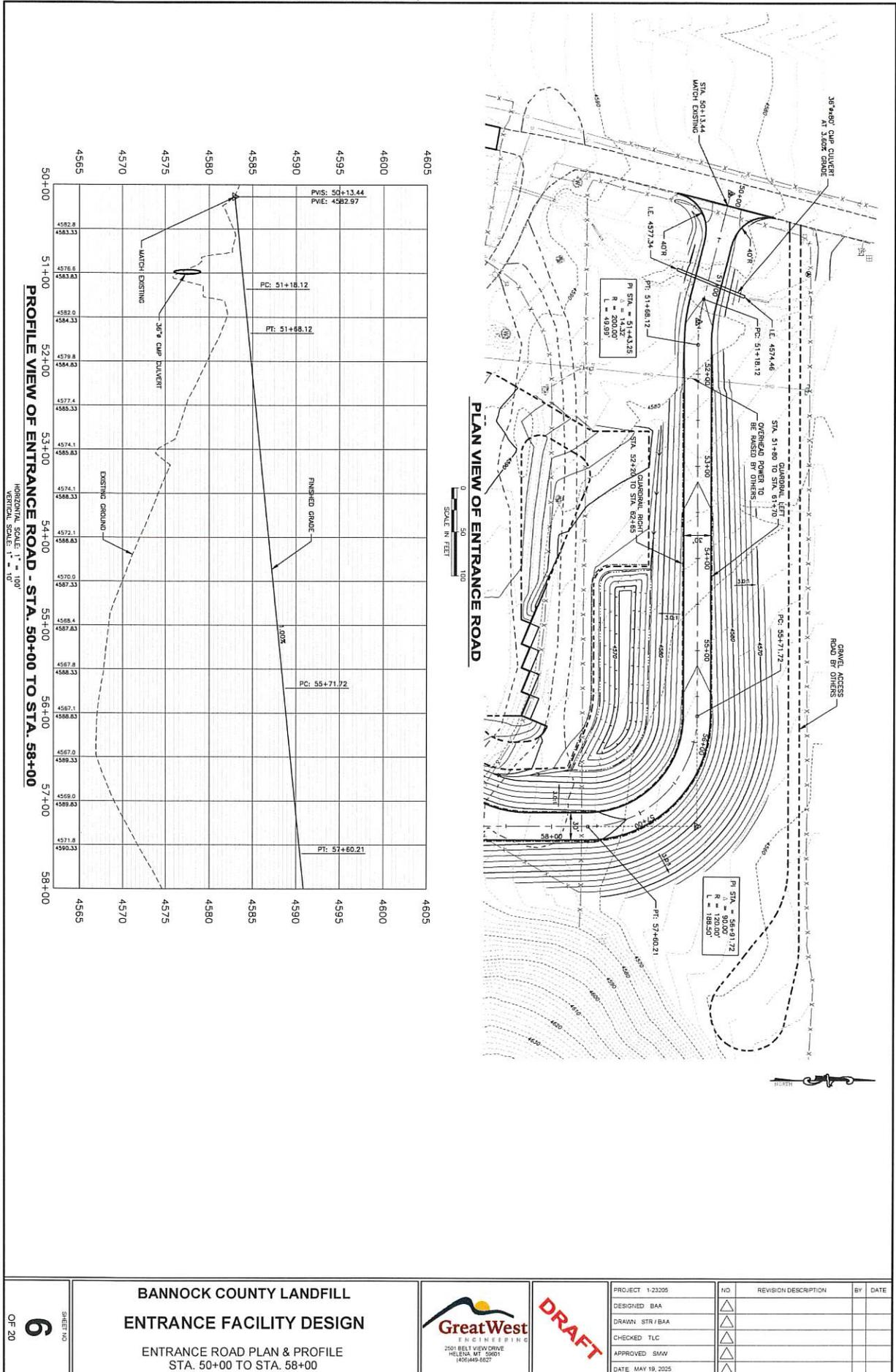
<p>4 OF 20</p>	<p>BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN</p>		<p>2501 BELT VIEW DRIVE HELENA, MT 59601 406.448.8622</p>	<p>DRAFT</p>	PROJECT: 1-23205	NO.	REVISION DESCRIPTION	BY	DATE	
	<p>PROPOSED SITE PLAN</p>				DESIGNED: BAA	△				
					DRAWN: STR / BAA	△				
					CHECKED: TLC	△				
					APPROVED: EMW	△				
		DATE: MAY 19, 2025	△							

Y:\Shared\Helena Projects\1-23205-Bannock County Landfill Scale House\CADD 1-23205\Sheets\1-23205-05-PGP.dwg



SHEET NO. 5 OF 20	BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN PROPOSED INFIELD GRADING PLAN		 2261 BELT VIEW DRIVE HELENA, MT 59601 406/448-8627	DRAFT	PROJECT 1-23205	NO	REVISION DESCRIPTION	BY	DATE
	DESIGNED BAA	<input type="checkbox"/>							
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	CHECKED TLC	<input type="checkbox"/>							
	APPROVED SMW	<input type="checkbox"/>							
DATE MAY 19, 2025	<input type="checkbox"/>								

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6
OF 20

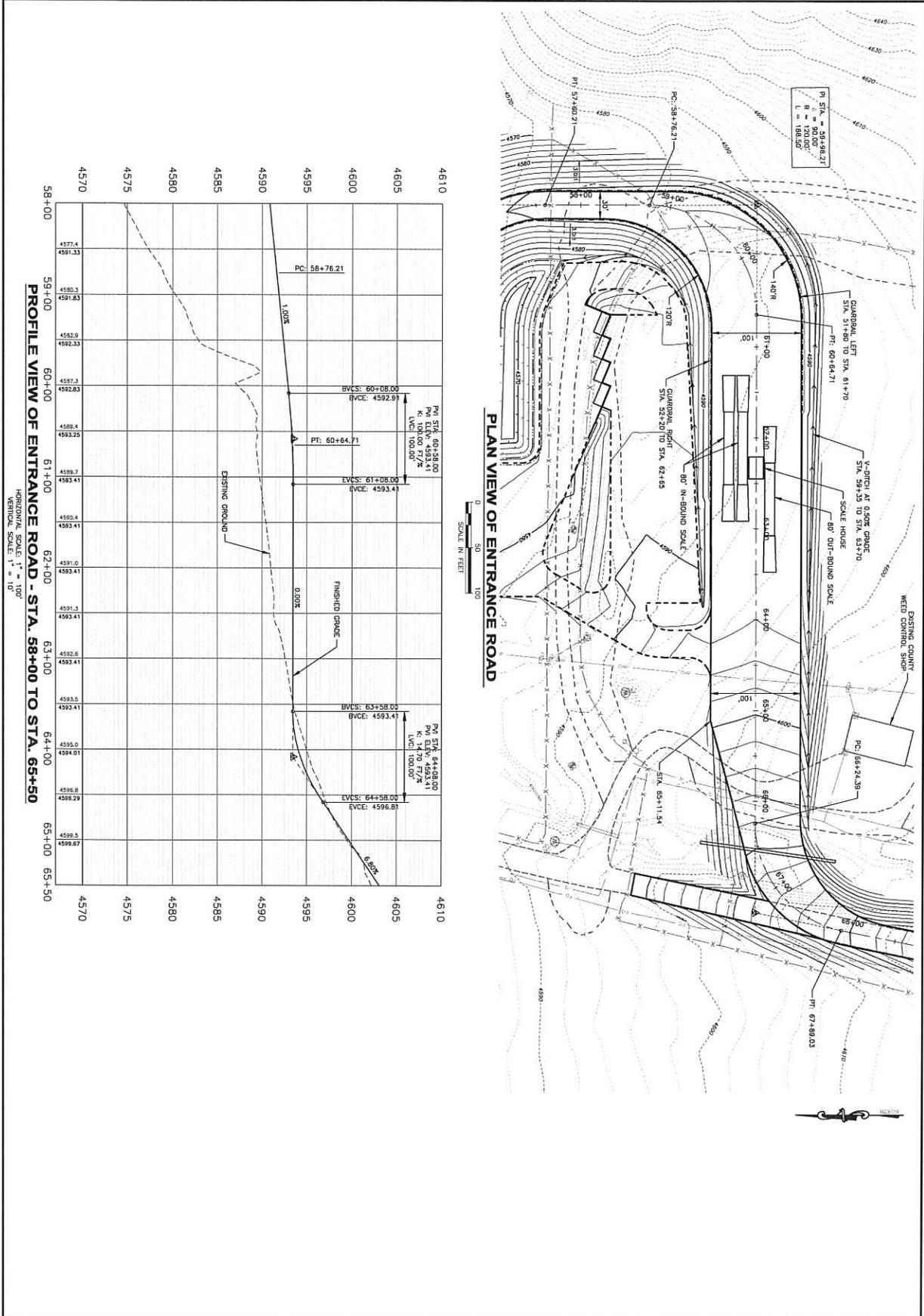
BANNOCK COUNTY LANDFILL
ENTRANCE FACILITY DESIGN
 ENTRANCE ROAD PLAN & PROFILE
 STA. 50+00 TO STA. 58+00



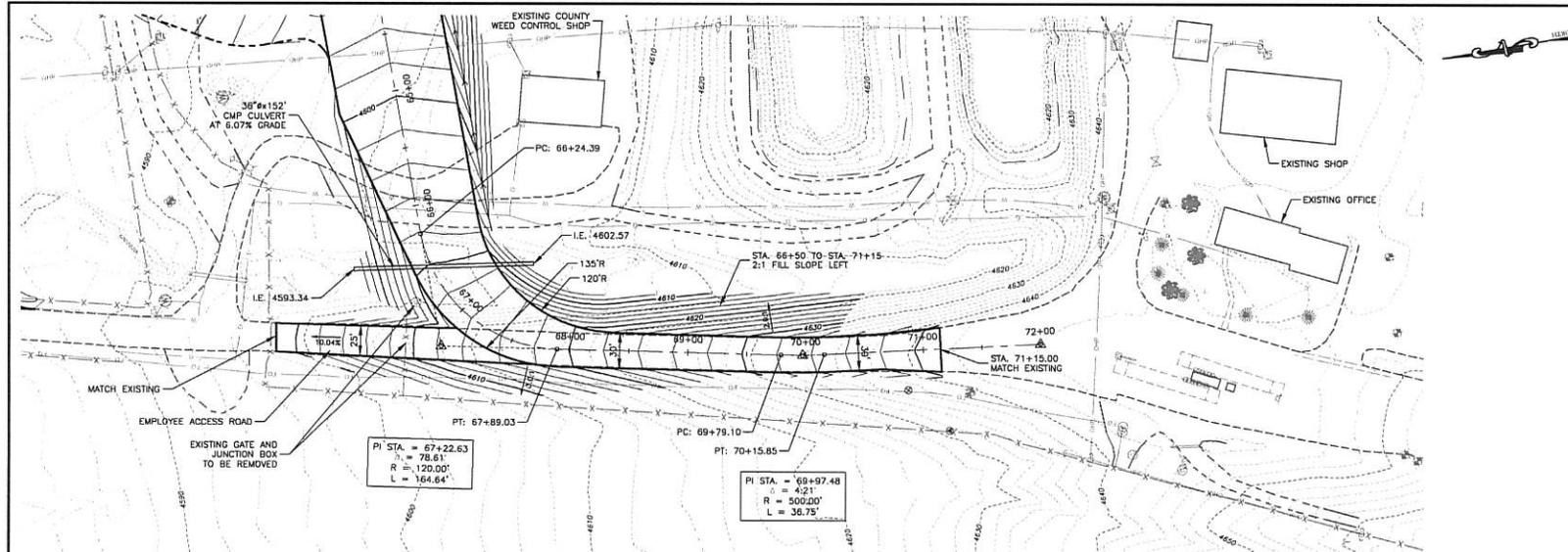
DRAFT

PROJECT	NO.	REVISION DESCRIPTION	BY	DATE
1-23205	1	DESIGNED BAA		
	2	DRAWN STR / BAA		
	3	CHECKED TLC		
	4	APPROVED SMW		
DATE: MAY 19, 2025				

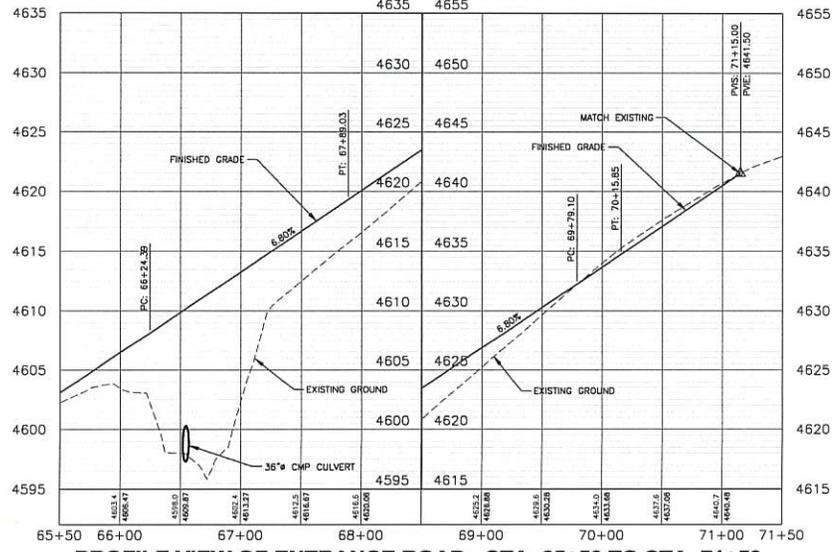
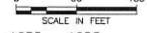
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SHEET NO. 7 OF 20	BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN ENTRANCE ROAD PLAN & PROFILE STA. 58+00 TO STA. 65+50		Great West ENGINEERING 2501 BELT VIEW DRIVE HELENA, MT 59601 406.449.6627	DRAFT	PROJECT: 1-23205	NO	REVISION DESCRIPTION	BY	DATE
	DESIGNED: BAA	△							
	DRAWN: STR/BAA	△							
	CHECKED: TLC	△							
	APPROVED: SMW	△							
DATE: MAY 19, 2025	△								



PLAN VIEW OF ENTRANCE ROAD

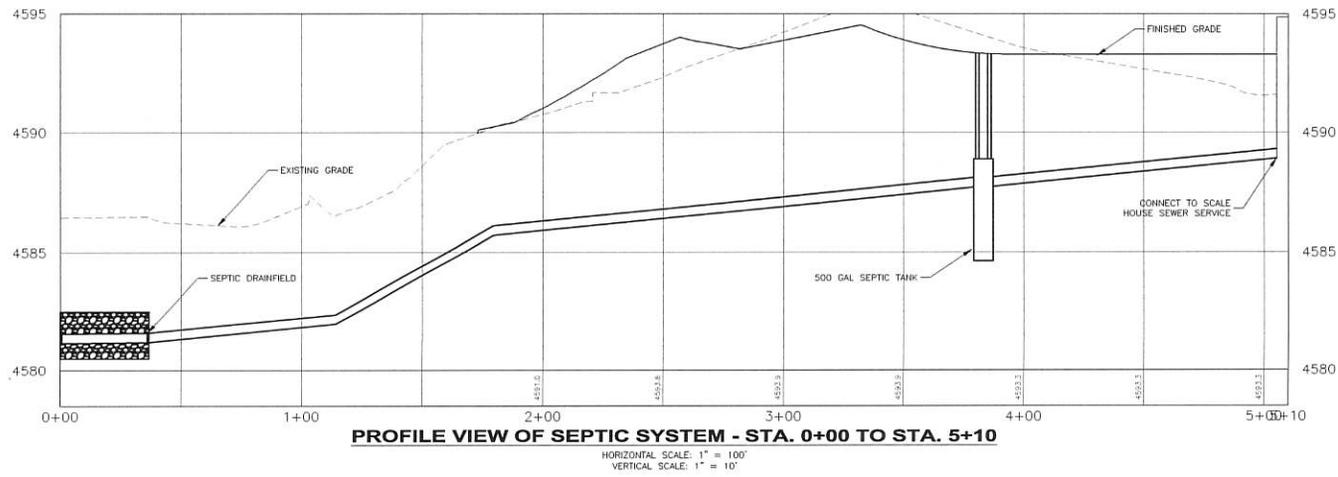
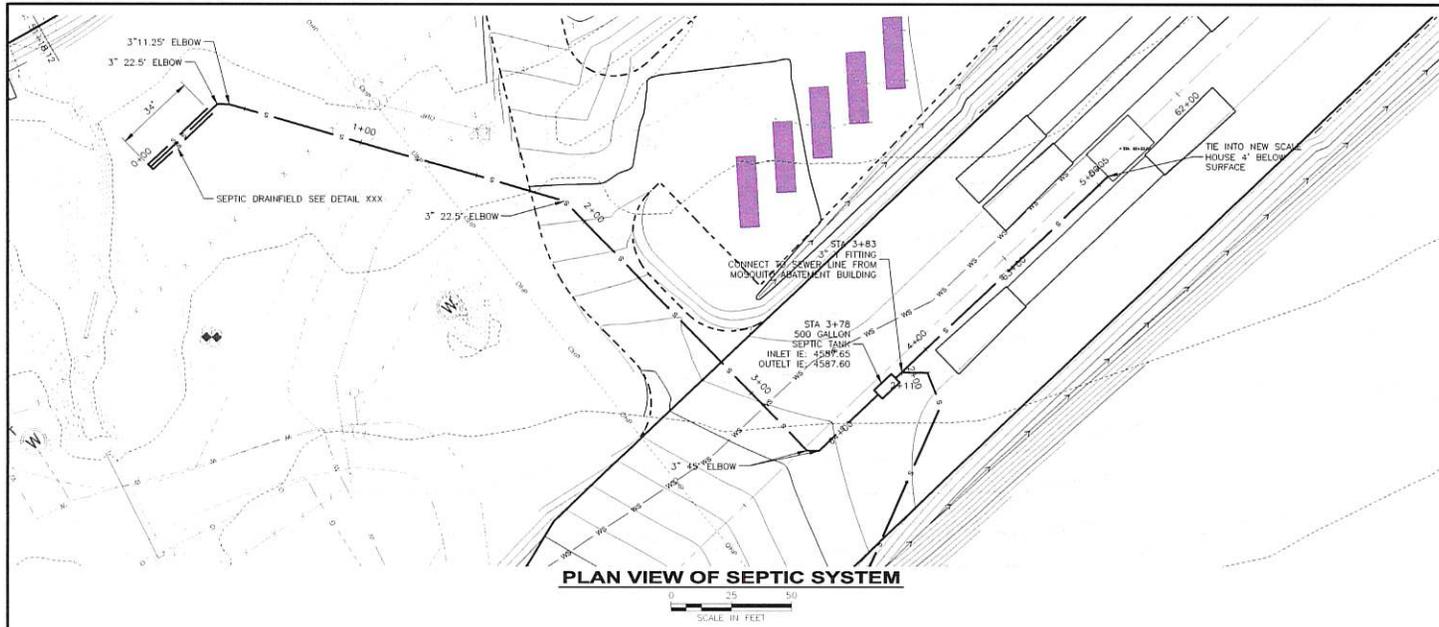


PROFILE VIEW OF ENTRANCE ROAD - STA. 65+50 TO STA. 71+50

HORIZONTAL SCALE: 1" = 100'
VERTICAL SCALE: 1" = 10'

X:\Shared\Hanna Projects\1-23305-Bannock County Landfill Site\Hanna\CAD\1-23305-08-PP.dwg

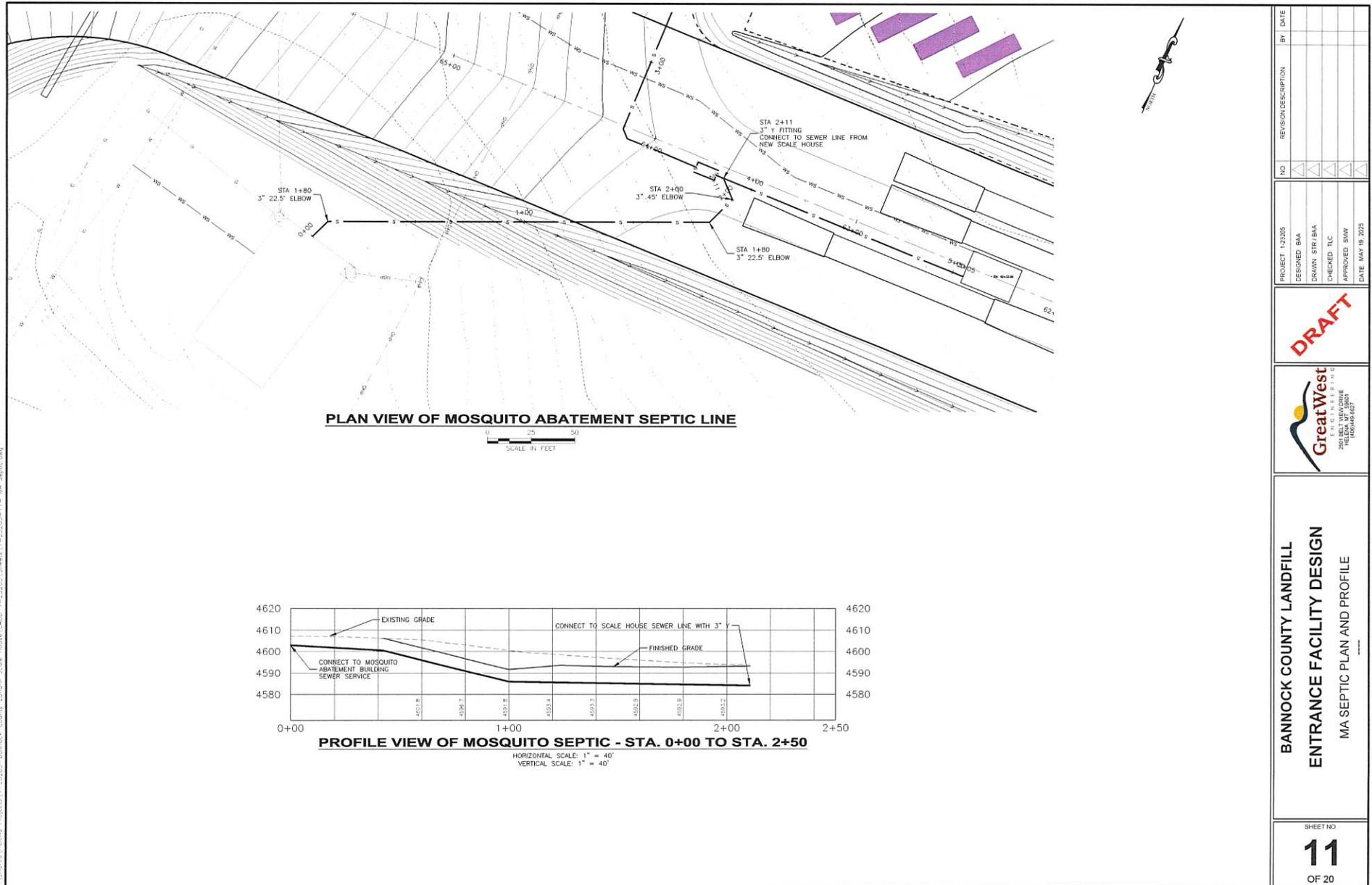
NO.	REVISION DESCRIPTION	BY	DATE
PROJECT: 1-23305	DESIGNED: BAA	DATE: MAY 19, 2025	
DRAWN: STR/BAA	CHECKED: TJC		
APPROVED: BAA			
DRAFT			
BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN ENTRANCE ROAD PLAN & PROFILE STA. 65+50 TO STA. 71+50			
SHEET NO			
8			
OF 20			



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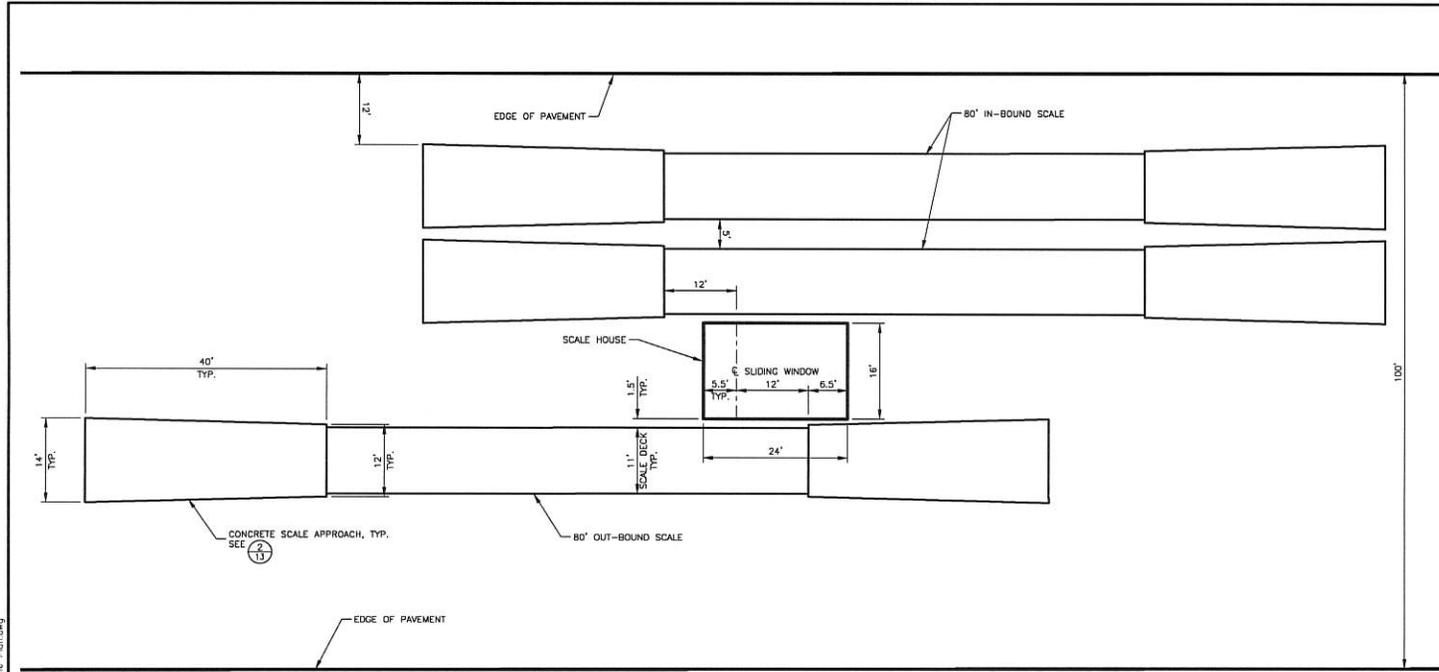


NO.	REVISION DESCRIPTION	BY / DATE
1		
PROJECT: 13205 DESIGNED: BAA DRAWN: STR/BAA CHECKED: TLC APPROVED: BMW DATE: MAY 19, 2025		
DRAFT		
 GreatWest ENGINEERING P.L.L.C. 1000 W. 120TH HONOLULU, HI 96817		
BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN SEPTIC PLAN AND PROFILE		
SHEET NO. 10 OF 20		



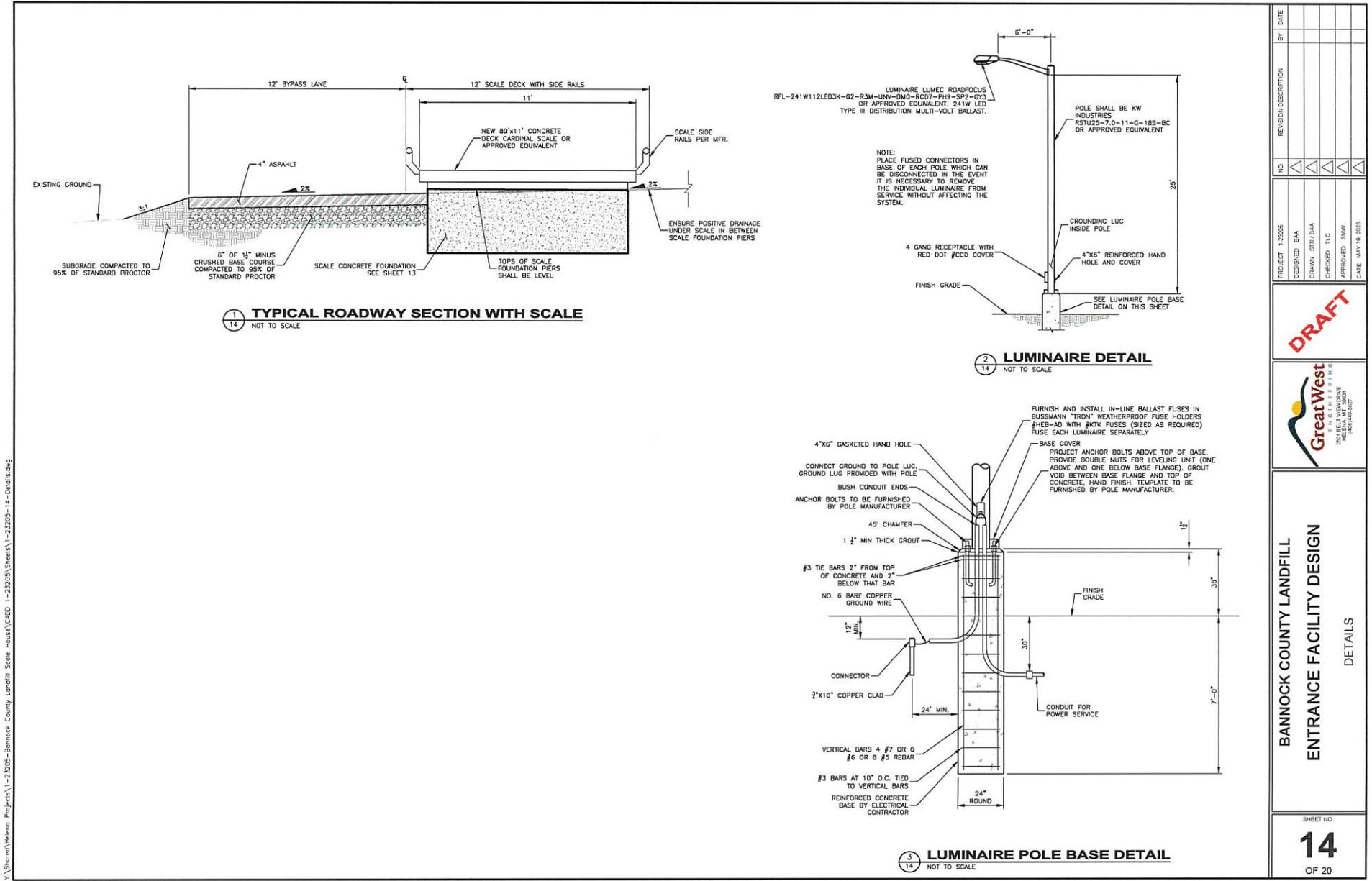
V:\Borwick\Hearing Projects\1-21205-Bannock County Landfill Scale House CAD\1-21205-Entrance\1-21205-11-MA Septic.dwg

NO	REVISION DESCRIPTION	BY	DATE
PROJECT: 1-21205	DESIGNED: BAA	DRAWN: STR/BAA	CHECKED: TLC
APPROVED: SUM	DATE: MAY 19, 2025		
DRAFT			
 Great West ENGINEERING 200 S. W. 10th Ave Ocala, FL 32101			
BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN MA SEPTIC PLAN AND PROFILE			
SHEET NO			
11			
OF 20			

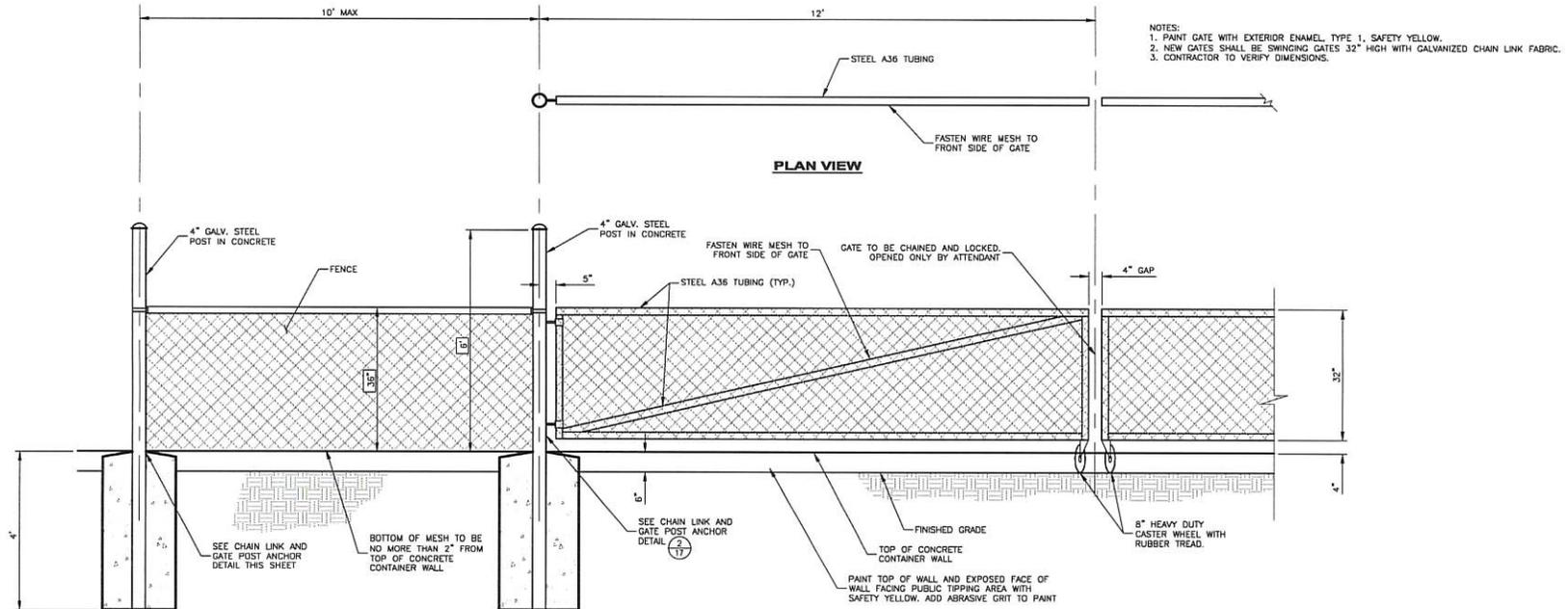


Y:\Shared\Hanna Projects\1-23205-Bannock County Landfill Scale House\CADD\1-23205\Sheets\1-23205-12-Scale Plan.dwg

PROJECT 1:2025		REVISION DESCRIPTION	BY	DATE
DESIGNED BBA		NO		
DRAWN STR/BAA		1		
CHECKED TLC		2		
APPROVED SMA		3		
DATE: MAY 19, 2025		4		
DRAFT				
 GreatWest ENGINEERING 200 S. WYOMING FORT WYOMING, WY 83001 (307)464-0277				
BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN SCALE PLAN				
SHEET NO 12 OF 20				

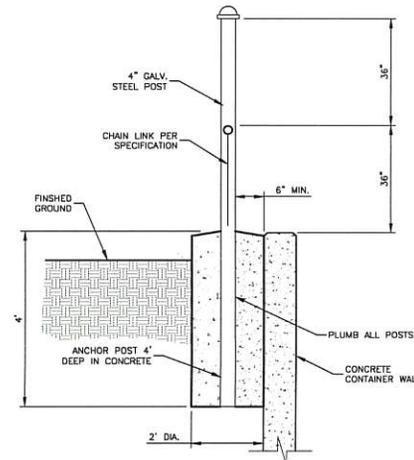


Y:\Shared\Helena Projects\13-2025-Bannock County Landfill Scale House\CADD\1-23205\Sheets\1-23205-14-Detail.dwg



NOTES:
 1. PAINT GATE WITH EXTERIOR ENAMEL, TYPE 1, SAFETY YELLOW.
 2. NEW GATES SHALL BE SWINGING GATES 32\"/>

1
TOP OF WALL FENCE AND GATE DETAIL
 NOT TO SCALE



2
TOP OF WALL CHAIN LINK AND GATE ANCHOR TYPICAL SECTION
 NOT TO SCALE

NO.	REVISION/DESCRIPTION	BY	DATE

PROJECT: 1-23205
 DESIGNED: BAA
 DRAWN: BSR/BA
 CHECKED: TLC
 APPROVED: BAW
 DATE: MAY 19, 2025

DRAFT

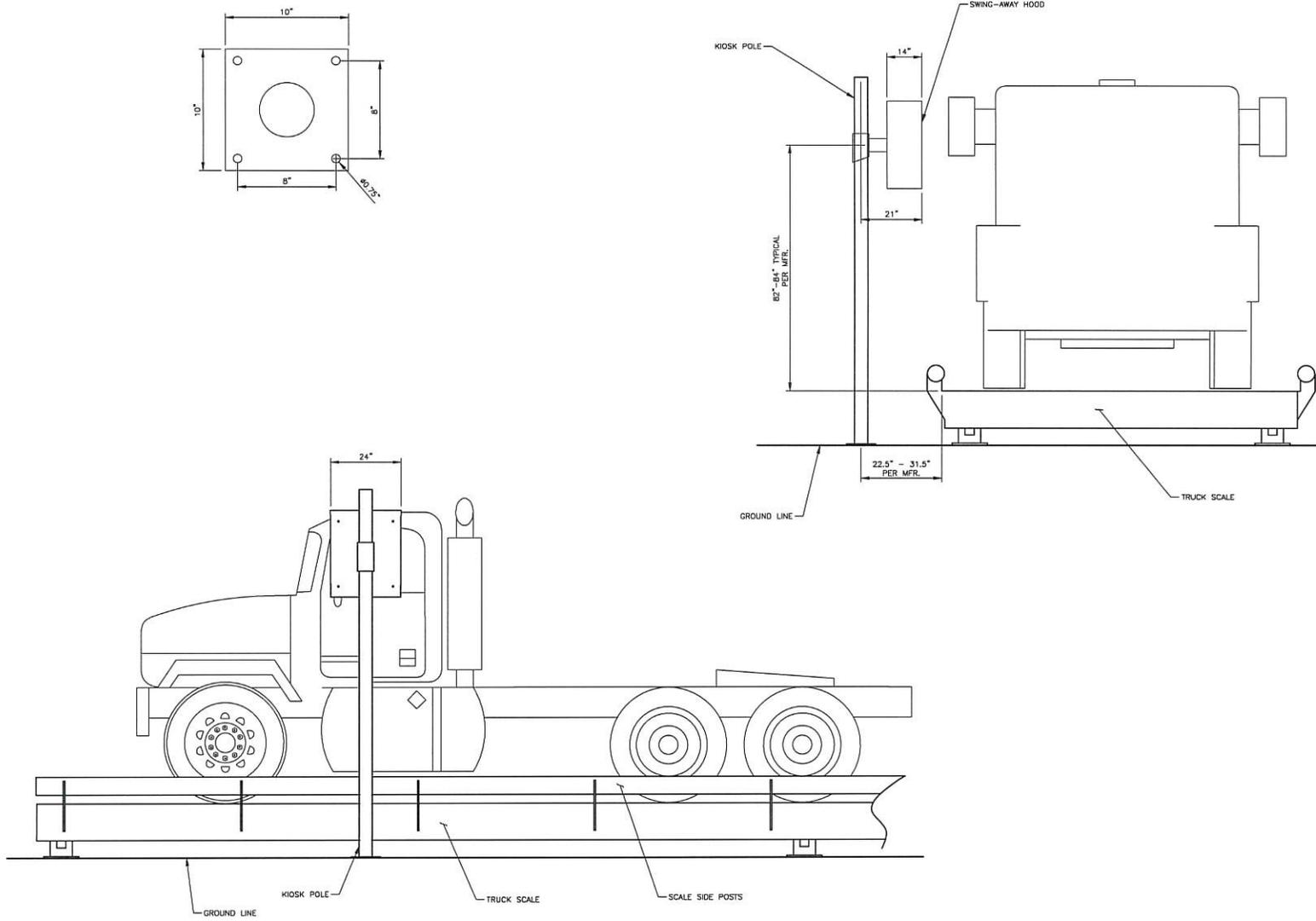


**BANNOCK COUNTY LANDFILL
 ENTRANCE FACILITY DESIGN
 Z-WALL SAFETY FENCE DETAILS**

SHEET NO
17
 OF 20

V:\Shared\Heleno Projects\1-23205-Bannock County Landfill Scale House\CADD\1-23205-17-Fence Details.dwg

Y:\Share\Hesand Projects\1-23205-Bannock County Landfill Scale House\CADD 1-23205\Sheets\1-23205-18-Kiosk Pole Details.dwg

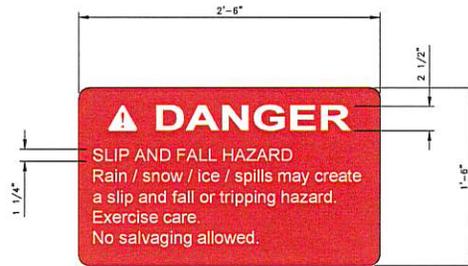


PROJECT 1:23205		DESIGNED BAA	DRAWN STR/BAA	CHECKED TLC	APPROVED BAW	DATE MAY 19, 2025
NO.	REVISION DESCRIPTION	BY	DATE			
DRAFT						
 Great West ENGINEERING 2001 W. 10TH ST. SUITE 100 BOZEMAN, MT 59717						
BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN KIOSK POLE DETAILS						
SHEET NO.						
18						
OF 20						



NOTE:
THE SIGN SHALL BE A RECTANGLE WITH
BLACK LEGEND ON YELLOW BACKGROUND.

ENTRY SIGN
NOT TO SCALE



NOTE:
1. THE SIGN SHALL BE A RECTANGLE WITH
WHITE LEGEND ON RED BACKGROUND.
2. ONE SIGN PER CONTAINER BAY.



NOTE:
1. THE SIGN SHALL BE A RECTANGLE WITH
BLACK LEGEND ON ORANGE BACKGROUND.
2. ONE SIGN PER CONTAINER BAY.

SIGNS AT TOP OF CONTAINER WALL
NOT TO SCALE

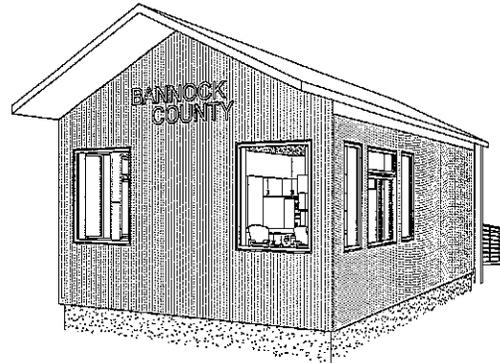
- SIGN SPECIFICATIONS:**
1. ALL SIGNS, UNLESS OTHERWISE NOTED, SHALL BE CONSTRUCTED WITH 5005-H34 ALUMINUM FLAT SHEET WITH A MILL FINISH. THE GAUGE OF THE ALUMINUM SHALL BE .080.
 2. ALL SIGNS SHALL BE COATED WITH REFLECTIVE SHEETING, AND MEET THE MINIMUM RETROREFLECTIVITY REQUIREMENTS OUTLINED IN THE MUTCD MANUAL.
 3. ALL SIGNS SHALL BE MOUNTED UTILIZING BOLTS, WASHERS AND NUTS AS RECOMMENDED BY THE SIGN MANUFACTURER.
 4. SIGN MOUNTING HEIGHTS TO BE PER APPLICABLE OSHA STANDARDS.

\\S:\areas\veena Projects\1-23205-Bannock County Landfill Scale House\CADD\1-23205\Sheets\1-23205-26-Signage-DLL.dwg

PROJECT: 1-23205		DESIGNED: BMA	DRAWN: STB/BAA	CHECKED: TLC	APPROVED: BMA	DATE: MAY 19, 2025
NO.	REVISION/DESCRIPTION	BY	DATE			
DRAFT						
<p>Great West ENGINEERING 1000 W. 10TH ST. SHELBY, WY 82801 307.644.6677</p>						
BANNOCK COUNTY LANDFILL ENTRANCE FACILITY DESIGN						
SIGNAGE						
SHEET NO 20 OF 20						

BANNOCK COUNTY SCALE HOUSE

BANNOCK COUNTY, ID



SHEET INDEX

ARCHITECTURAL DRAWINGS

- A00 COVER
- A01 COORDINATION
- A02 GENERAL INFORMATION (ASSEMBLY TYPES)
- A03 DETAILS
- A04 FLOOR PLAN
- A05 EXTERIOR FINISH, STAIRS/FIREP
- A06 EXTERIOR FINISHING
- A07 SECTIONS
- A08 DETAILS
- A09 DOOR & WINDOW TYPES, DOOR SCHEDULE
- A10 FINISH PAINT & SCHEDULE
- A11 FURNITURE SCHEDULE
- A12 A-000001
- A13 A-000001

PROJECT DIRECTORY

ARCHITECT:

mosaic
architecture

MOSAIC ARCHITECTURE, P.C.
317 CRUISE AVE., SUITE 201
HELENA, MT 59601
(406) 449-2013
CONTACT: MATT ARNIE, AIA matt@mosaicarch.com

CIVIL ENGINEERING:

GREATWEST ENGINEERING
2501 BELT VIEW DRIVE
HELENA, MT 59602
(406) 449-8827

CONTACT:

MECHANICAL/ELECTRICAL/PLUMBING ENGINEERING:

STRUCTURAL/CIVIL ENGINEERING:

CITY STAMP

CITY STAMP

DATE REVISION



317 Cruise Ave. Suite 201
Helena, Montana
59601

(406) 449-2013

www.mosaicarch.com

BANNOCK COUNTY
SCALE HOUSE

Scale address here

COVER

DATE: 5/29/2025

SHEET

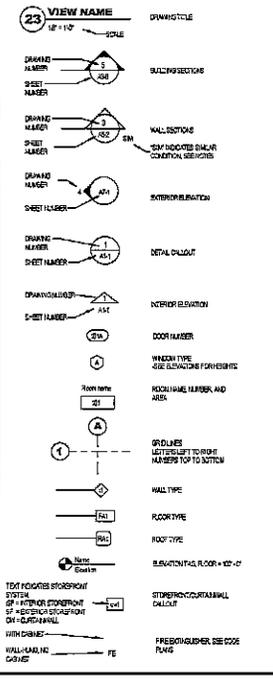
A000

THESE DRAWINGS WERE PREPARED BY MOSAIC ARCHITECTURE, P.C. FOR THE CONSTRUCTION OF THE PROJECT DESCRIBED HEREIN. AS SUCH, THE DRAWINGS ARE THE PROPERTY OF MOSAIC ARCHITECTURE, P.C. & MAY NOT BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN APPROVAL OF MOSAIC ARCHITECTURE, P.C.

ABBREVIATIONS:

Table of abbreviations for construction drawings, including symbols for doors, windows, and structural elements.

REFERENCE SYMBOLS:



GENERAL CONDITIONS:

- List of general conditions for the construction of building components, including requirements for materials and workmanship.

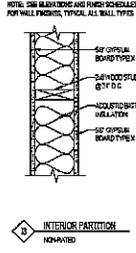
GENERAL NOTES:

- General notes for interior wall types, exterior wall types, and foundation types, detailing construction requirements.

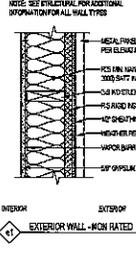
GENERAL WALL NOTES:

- General wall notes detailing construction requirements for various wall types and assemblies.

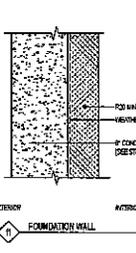
INTERIOR WALL TYPES



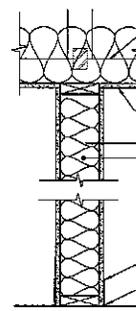
EXTERIOR WALL TYPES



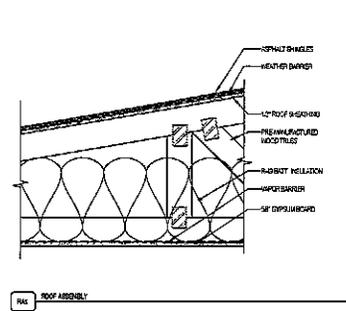
FOUNDATION TYPES



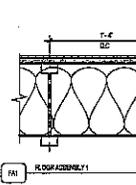
PARTITION WALL BRACING



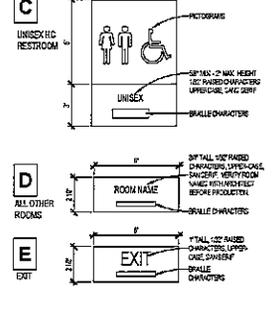
ROOF/CEILING ASSEMBLIES



FLOOR ASSEMBLY

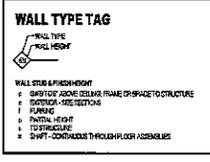


ROOM SIGNAGE



ROOM SIGNAGE

- Room signage requirements, including fire alarm control panels, fire alarm control panels inside, and sprinkler riser rooms.



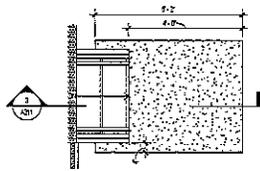
CITY/STATE

DATE REVISION

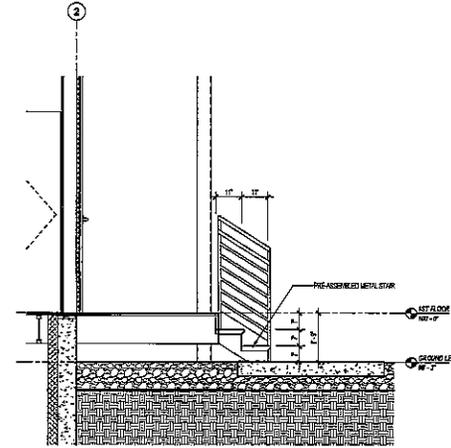


337 Oak Ave. Suite 201
Hobart, Indiana 46342
908.448.2022
www.mosaicbr.com

BANNOCK COUNTY
SCALE HOUSE
GENERAL INFORMATION &
ASSEMBLY TYPES
DATE Issue Date
SHEET A002



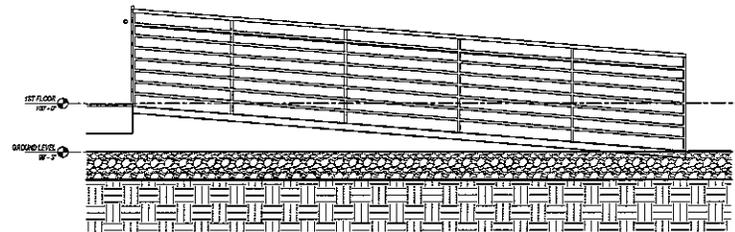
1 STAIR ENLARGED PLAN
1/2" = 1'-0"



3 STAIR SECTION
1/2" = 1'-0"



2 ENLARGED PLAN-RAMP
1/2" = 1'-0"



4 RAMP SECTION
1/2" = 1'-0"

CITY STAMP

C. DATE: REV/CHK

mosaic
ARCHITECTURE-PLANNING-DESIGN

327 Cross Ave. Suite 201
Bozeman, Montana
59703

404.449.2025

www.mosaicarch.com

BANNOCK COUNTY
SCALE HOUSE

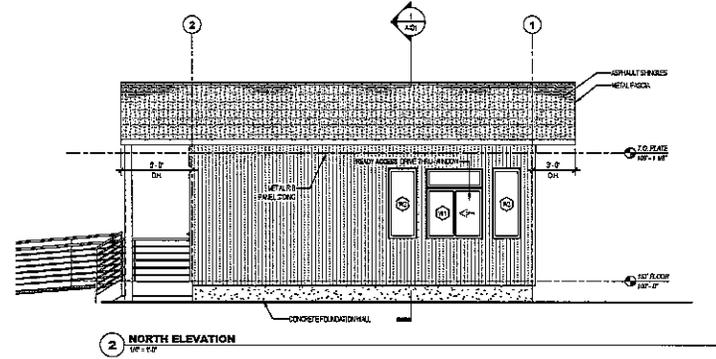
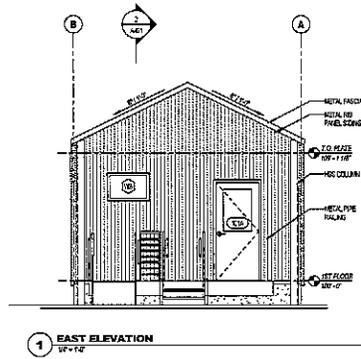
Enter address here

ENLARGED PLAN - STAIRS /

RAMP

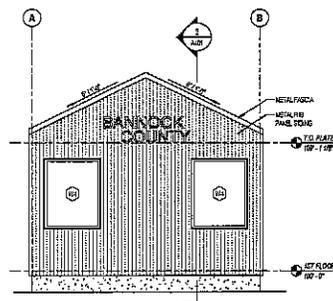
DATE: 1/20/24

SHGP: A211

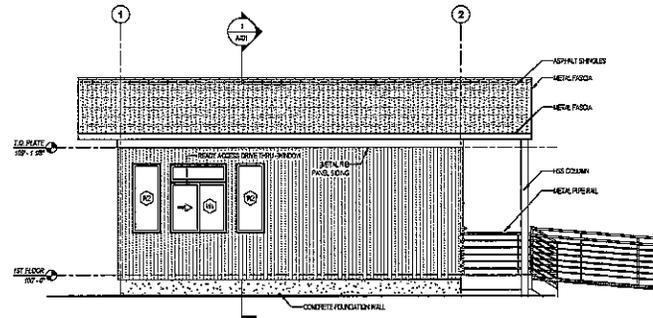


1 EAST ELEVATION
10' x 12'

2 NORTH ELEVATION
10' x 10'



4 WEST ELEVATION
10' x 12'



3 SOUTH ELEVATION
10' x 10'

MATERIALS LEGEND

	ASPHALT SHINGLES
	VERTICAL CORRUGATED METAL PANEL SODING
	CAST IN PLACE CONCRETE

- NOTES**
- THIS SET DOES NOT INCLUDE MATERIALS. SEE NOTES AND REFERENCED DETAILS FOR ADDITIONAL INFORMATION.
 - ALL EXPOSED WOOD FLOOR JOIST TO BE FINISHED PAINT ALL WOOD TRIM, NO DOORS & DOOR FLOORING.

CITY STAMP

DATE REVIEWED

mosaic
ARCHITECTURE • PLANNING • DESIGN

317 Cross Ave. Suite 201
Bozeman, Montana
59701

406.448.2013

www.mosaicfirm.com

BANNOCK COUNTY
SCALE HOUSE

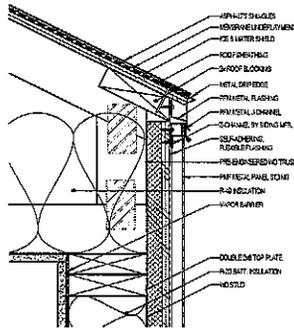
Client Address Here

EXTERIOR ELEVATIONS

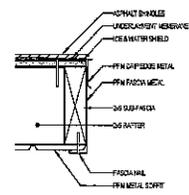
DATE Issue Date

PROGRESS SET

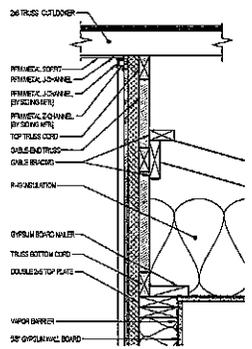
A301



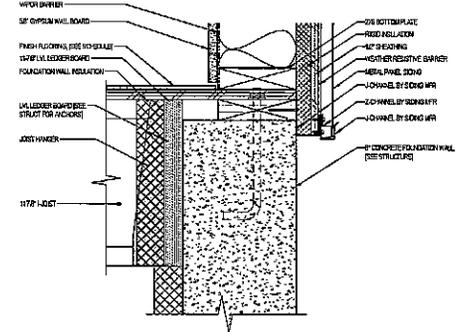
1 EAVE @ ROOF
3'-1/2"



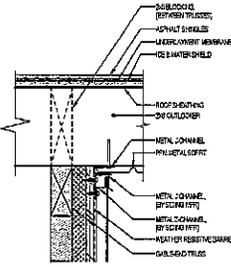
2 ROOF @ RAKE
2'-1/2"



3 TRUSS @ GABLE
1'-0" x 1'-0"



4 JOIST @ LEDGER
2'-1/2"



5 OVERHANG @ WALL
2'-1/2"

CITY STAMP

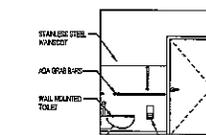
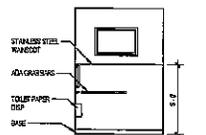
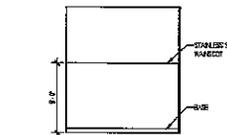
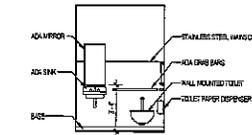
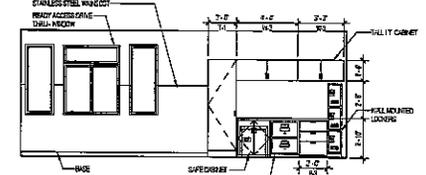
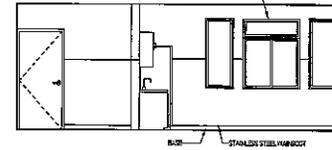
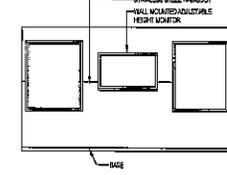
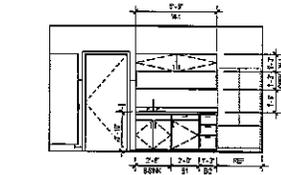
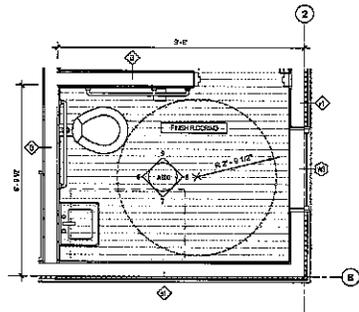
J. NETE SERVICES

mosaic
 residential planning + design
 217 Crow Ave. Suite 201
 Helena, Montana
 59601
 406.449.2913
 www.mosaicrs.com

PROGRESS SET
 BANNOCK COUNTY
 SCALE HOUSE

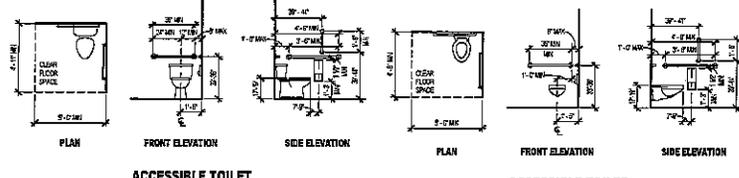
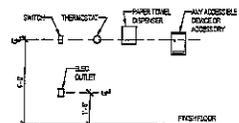
 Enter address here
 DETAILS
 DATE: _____
 DRAWN BY: _____
 SHEET: **A501**

DATE STAMP: 05/29/2025 10:30:37 AM



ACCESSIBLE MOUNTING HEIGHTS AND CLEARANCES

1. DIMENSIONS TO TOILET FROM ACCESSORIES ARE TO THE TOP OF THE HIGHEST OVERHANG OR OPERABLE PART.
2. ACCESSORIES AND COATERS SHALL BE MOUNTED WITH 0" OPERABLE PARTS AND 2" MINIMUM CLEARANCE.



ACCESSIBLE TOILET

CITY STAMP

#	DATE	REVISION

mosaic
ARCHITECTURE & INTERIOR DESIGN
217 Cass St., Suite 201
Boulder, Colorado
80501

408.448.2017
www.mosaicarch.com

BANNOCK COUNTY
SCALE HOUSE

Interior Elevation

DATE: Issued/2025

SHEET: **A800**

CITY STAMP

BANNOCK COUNTY COMMISSIONERS
 624 E. Center, Pocatello, ID 83201
 Phone: (208) 236-7210 • Fax: (208) 232-7363



ERNIE MOSER
 Commissioner
 1st District

JEFF HOUGH
 Commissioner
 2nd District

KEN BULLOCK
 Commissioner
 3rd District

Business Meeting Agenda Request Form

The Board of Bannock County Commissioners business meetings are generally held on **Tuesday at 9:15 a.m.** in the Commissioners' Chambers in the Bannock County Courthouse, Room 212; 624 E Center Pocatello, Idaho or as noticed **48 hours** prior to the meeting at <https://bannockcounty.us/commissioners/>. The Commissioners also hold meetings throughout the week as coordinated with the Commissioners' staff. Agenda times are subject to change within **15 minutes** of scheduled time. Any person(s) needing special accommodations to participate in public meetings should contact the Commissioners' Office at 208-236-7210, three to five working days before the meeting.

Requestor Name:

Kiel Burmester

Department:

Mosquito Abatement

Requestor Email:

kielb@bannockcounty.us

Item(s) to be considered:

Approval of Cooperative Range Improvement Agreement

Date of meeting being requested:

05/29/2025

Time requested:

5 Minutes

Does the request involve a contract, agreement, external funding, or award acceptance?

Agreement

Contract/Agreement Begin Date:

05/29/2025

Contract/Agreement End Date:

06/13/2025

List of additional attendees:

Kathy Dahlke

Form 4120-6
(May 2020)

FORM APPROVED
OMB NO. 1004-0019
Expires: March 31, 2023

UNITED STATES
DEPARTMENT OF THE INTERIOR
BUREAU OF LAND MANAGEMENT
COOPERATIVE RANGE IMPROVEMENT AGREEMENT

FOR BUREAU OF LAND MANAGEMENT USE ONLY

State..... Idaho

Office..... LLIDI02000

Project Number(s)

INSTRUCTIONS - Cooperator(s) to receive original, and one copy each to the District/Field Office case or lease file and District/Field Office project file.

Project Name(s)
I-15 Corridor Dyers Woad Aerial Spray Project

- 1. I, (We) Kathy Dahlke of Bannock County Weed Control
- Jeff Hough of Bannock County
- Ernie Moser of Bannock County
- and Ken Bullock of Bannock County

hereinafter called cooperator(s) and the United States of America, by the Bureau of Land Management, hereinafter called the BLM, for and in consideration of the mutual benefits hereunder, and in accordance with the Taylor Grazing Act (43 U.S.C. 315, 315a-r), as amended, the National Soil Conservation Act (16 U.S.C. 590a(3)), as amended, the Federal Land Policy and Management Act (43 U.S.C. 1701, et seq.), and the Public Rangelands Improvement Act (43 U.S.C. 1904) do enter into this cooperative agreement for the construction and/or maintenance of range improvements, installation of conservation works or establishment of conservation practices, hereinafter referred to collectively as improvements, for the benefit of the public lands and of the cooperator(s).

2. The improvement(s) known as the I-15 Corridor Dyers Woad Aerial Spray Project
T07S R35E S09, S10, S15, S16, S21 and S22
T08S R37E S07, S18, S19, and S30

will be is (are) located upon: BLM Lands 1/4, Sec(s). Refer to block 2 T, 7S, 8S R, 35E, 37E
Meridian, County of Bannock, State of Idaho

3. IT IS MUTUALLY AGREED:

- (a) The parties hereto will furnish labor, materials, and equipment as required, the total cost or value not to exceed the amount listed below for each of the parties respectively for the initial construction and/or installation of the improvements indicated in paragraph 2.

NAME(S) OF COOPERATOR(S)	ITEMS	TOTAL COST OR VALUE
Bannock County Weed Control	Pay for and/or provide the Chemical	\$ 3,000.00
BUREAU OF LAND MANAGEMENT	Pay for helicopter labor for BLM portion of project	2,400.00
	With a surcharge the entire BLM total cannot go past \$2500	100.00
	AGGREGATE COST	\$ 5,500.00

(Continued on page 2)

(Form 4120-6)

(b) Upon notice from the BLM, cooperator(s) will promptly supply labor, materials, and equipment as specified in paragraph 3 (a) as required. Contributed materials in excess of the amount required must be returned to the contributor. Equipment contributed must be returned promptly following completion of the work. Work will be conducted under the supervision and direction of the BLM and must be pursued with diligence until completed.

4. (a) The cooperator(s) will be liable, jointly and severally, for the repair and maintenance of the improvements following completion, in good and serviceable condition. The cooperator(s), without further notice from the BLM must do the necessary work promptly. If work is not performed as necessary, the BLM will notify the cooperator(s) and specify a period within which to complete the work as required.

(b) In the event the cooperator(s) default in the repair and maintenance of the improvements the BLM may do or cause such work to be done for and on behalf of the cooperator (s); and the necessary cost and expense thereof will become a charge and obligation upon and must be paid by the cooperator(s). It is further understood in case of default that any grazing permit or lease may be canceled and may not be renewed or extended or any transfer of grazing preference may not be approved unless and until all charges and costs owed by the cooperator(s) are paid; and provided that the BLM may pursue such other remedies, legal or administrative, as may be authorized.

(c) Repair and maintenance, as herein required, will mean normal upkeep and maintenance necessary to preserve, protect, and prolong the useful life of the improvements, but will not include major repairs where the damage is due to floods, earthquakes, or other acts of God, or fire not the result of fault or negligence of the cooperator(s) as determined by the BLM.

5. IT IS FURTHER AGREED

(a) This agreement does not convey right, title, or interest in any lands or resources held by the United States.

(b) Title to permanent or nonstructural improvements authorized by this agreement is held by the United States of America. The actual amount of the cooperator's(s') funds, materials, and the value of the labor contributed to the construction of the range improvement(s) authorized by this agreement is listed in Section 3 of this agreement and documents their respective interest in the agreement.

(c) The improvements may be removed, in whole or in part, during the term of this agreement or any extension thereof, by mutual consent of the parties or by direction of the BLM; such removal must be made by the cooperator(s), or by the BLM at its option. During the course of salvaging material, the United States assumes no responsibility for the protection or preservation of said material. Upon removal of the improvements, any salvageable materials, after deducting an amount to compensate for the actual cost of removal, will be available for distribution to the parties then subject to this agreement in proportion to the actual amount of their respective contributions to the initial construction of the improvements. The parties must take possession and remove their portion of the salvaged materials within one hundred and eighty (180) days after first notification in writing that such material is available; upon failure to do so within the

time allowed, the materials will be deemed abandoned and title thereto will thereupon vest in the United States.

(d) In the event lands containing improvements described under (b) above are devoted to another public purpose which precludes grazing, including disposal, the cooperator(s) will be entitled to reasonable compensation for the adjusted value of the cooperator's(s') interest to the improvements.

6. Applications by the cooperators(s) to transfer the grazing preference and/or permitted grazing use embracing the lands upon which the improvements are constructed or in connection with which they are used, will evidence assignment of interest in this Cooperative Agreement to the transferee. [Before the transferee will be recognized as successor in interest hereunder, the transferee will be required by the BLM to accept an assignment of this agreement and agree to be bound by the provisions respecting the use and maintenance of the improvements.]

7. The cooperator's(s') use of the improvements will be in conformance with any special conditions, the grazing permit(s) or lease(s), and regulations of the Secretary of the Interior.

8. This agreement will not accord to cooperator(s) any preference, privilege, or consideration with respect to any grazing permit or lease not expressly provided herein or in the rules and regulations governing such grazing permit or lease.

9. Items 2, 3, and 4 (a) of this agreement may be modified or canceled by written agreement of the parties, which agreement will become a part hereof.

10. This agreement is subject to the provisions of Executive Order No. 11246 of September 24, 1965, as amended, which sets forth the nondiscrimination clauses. A copy of this order may be obtained from the BLM.

11. This agreement will remain in effect indefinitely from date of signature unless (1) otherwise designated under item 14. Special Conditions, or (2) terminated by mutual written consent of parties, or (3) terminated by the BLM after notice in writing because of the cooperator's(s') default or violation (4) terminated by the BLM after notice in writing because the improvements are not compatible with adopted land use plans, or (5) terminated renegotiated, or modified by the BLM following consultation with the parties involved, as a result of changes in the law, regulation, or national BLM policy.

12. Any water right acquired on or after August 21, 1995 to use water on public lands associated with this improvement will be held in the name of the United States, if permitted under State Law. Co-application or joint ownership by permittees or lessees of water rights for purposes of livestock water will be allowed where State Law permits the practice.

13. Any water developed, improved, or impounded under this cooperative agreement will be available for wildlife and free roaming wild horse and burro use and other authorized public use to the extent that such use is consistent with the multiple-use management objectives for the area.

14. Special Conditions

Bannock County Weed Control will be responsible for the following requirements:

1. Responsible for the liability of project.

1.1 Any problems with potential off-site herbicide drift onto adjacent lands surrounding treatment area.

2. Scheduling helicopter for aerial treatment.

3. Generating a Pesticide Use Proposal (PUP) for the treatment.

4. Providing the chemical for the project.

5. Work with the BLM to advise public on exact dates of treatment to help mitigate the public of possible herbicide exposure if they are within immediate treatment area.

5.1 Work with the BLM on possible closures of the immediate area during the treatment.

6. Provide GPS shapefiles to BLM upon completion of treatment area and a Pesticide Application Record (PAR) of treatment.

7. Pay for any helicopter costs beyond the \$2,400, if any.

BLM will be responsible for the following requirements:

1. Pay up to \$2,400 (plus the surcharge if applicable, to total of no more than \$2,500) for the labor of the helicopter treatment (For ONLY the treatment that occurred on BLM lands).

2. Provide GPS shapefiles to Bannock County and/or Helicopter company for treatment area on BLM lands.

3. Work with Bannock County Weed Control to advise public on exact dates of treatment to help mitigate the public of possible herbicide exposure if they are within immediate treatment area.

3.1 Work with Bannock County Weed Control on possible closures of the immediate area during the treatment.

COOPERATOR(S)

THE UNITED STATES OF AMERICA

(Signature) (Date)

State of Idaho

Blaine Newman - Field Office Manager (Date)

District/Field Office Pocatello Field Office

Jeff Hough 5/29/25
(Date)

By Bannock County Commissioner (Chairman)
(Title)

Ernie Moser 5/29/25
(Date)

Bannock County Commissioner
(Title)

Ken Bullock 5/29/25
(Date)

Bannock County Commissioner
(Title)

Title 18, U.S.C., Section 1001, makes it a crime for any person knowingly and willfully to make to any department or agency of the United States any false, fictitious, or fraudulent statements or representations as to any matter within its jurisdiction.

